

दिनांक - 12/09/2024

## प्रति,

**विषय :** Diversion of 19.43 ha. Reserved Forest Land in favour of Municipal Corporation Greater Mumbai for Construction of Tunnel underneath Sanjay Gandhi National Park along Goregaon Mulund Link Road by Municipal Corporation of Greater Mumbai in Mumbai Suburban District in the State of Maharashtra.

**संदर्भ :** 1) Ministry of Environment, Forest & Climate Change, Regional Office, Nagpur's Letter no.FC-II/MH-104/2019-NGP/12699, दि.02/01/2024.

- 2) अपर प्रधान मुख्य वनसंरक्षक तथा केंद्रस्थ अधिकारी महाराष्ट्र राज्य, नागपूर यांचेकडील पत्र क्र.कक्ष-17/S2/PID-27126/Thane/3105, दि.06/02/2024.
- 3) मुख्य वनसंरक्षक व संचालक, संजय गांधी राष्ट्रीय उद्यान, बोरीवली यांचेकडील पत्र क्र.कक्ष-2/जमीन/1113, दि.13/03/2024.

विषयांकित प्रस्तावास संदर्भ क्र.1 अन्वये 1 ते 30 अटींवर तत्वतः मंजूरी प्रदान करण्यात आली होती. त्यानुसार तत्वतः मंजूरीच्या पत्रातील अटींचा पूर्तता करणेकरीता आपण संदर्भीय पत्र क्र. 2 अन्वये या कार्यालयास कळविले होते. त्याअनुषंगाने मुख्य वनसंरक्षक व संचालक, संजय गांधी राष्ट्रीय उद्यान, बोरीवली यांनी मुद्दे निहाय अहवाल प्रकल्प यंत्रणेकडून प्राप्त करून घेऊन संदर्भीय पत्र क्र.3 अन्वये या कार्यालयास सादर केला आहे.

2.00 तरी मुख्य वनसंरक्षक व संचालक, संजय गांधी राष्ट्रीय उद्यान, बोरीवली यांचेकडील मुद्देनिहाय पूर्तता अहवाल पृढील कार्यवाहीसाठी आपलेकडे पाठविण्यात येत आहे.

सहपत्र : वरीलप्रमाणे.

(डॉ. व्ही. क्लेमेंट बेंन)

अपर प्रधान मुख्य वनसंरक्षक  
वन्यजीव पश्चिम प्रदेश  
मुंबई

प्रत : मुख्य वनसंरक्षक व संचालक, संजय गांधी राष्ट्रीय उद्यान, बोरीवली यांना माहिती व योग्य त्या कार्यवाहीसाठी.

प्रत : कार्यकारी अभियंता, जी.एम.एल.आर. बृहन्मुंबई महानगरपालिका यांना माहिती व योग्य त्या कार्यवाहीसाठी.



/61079/2024



भारत सरकार

GOVERNMENT OF INDIA

पर्यावरण, वन एवं जलवायु परिवर्तन मंत्रालय

MINISTRY OF ENVIRONMENT, FORESTS &  
CLIMATE CHANGERegional Office, Ground Floor, East Wing,  
New Secretariat Building Civil Lines, Nagpur -  
440001,  
apccfcetral-ngp-mef@gov.in

F.No. FC-II/MH-104/2019-NGP/12699

Date: 02.01.2024

To,

The Principal Secretary (Forests),  
Revenue and Forest Department,  
Hutatma Rajguru Chowk  
Madam Cama Marg  
Mantralaya, Mumbai - 400032.

**Sub: Diversion of 19.43 ha of Reserved Forest Land in favour of Municipal Corporation Greater Mumbai for Construction of Tunnel underneath Sanjay Gandhi National Park along Goregaon Mulund Link Road by Municipal Corporation of Greater Mumbai under Forest Conservation Act, 1980 in Mumbai District in the State of Maharashtra.- FP/MH/ROAD/27126/2017- In principle approval - regarding.**

Sir,

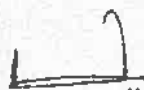
Please refer to the Government of Maharashtra letter no. FLD-1119/C.R.96/F-10 dated 06.03.2019 and 13.10.2023 and online application No **FP/MH/ROAD/27126/2017** seeking prior approval of the Central Government under Section-2 (1) of the Van (Sanrakshan Evam Samvardhan) Adhiniyam, 1980.

After careful consideration of the proposal submitted by the State Government and with the approval of the Regional Empowered Committee (REC), I am directed to convey the Central Government's **In-principle** approval under **Section '2' (1) of Van (Sanrakshan Evam Samvardhan) Adhiniyam, 1980** for diversion of **19.43** ha of Reserved Forest Land in favour of Municipal Corporation Greater Mumbai for Construction of Tunnel underneath Sanjay Gandhi National Park along Goregaon Mulund Link Road by Municipal Corporation of Greater Mumbai, in Mumbai District in the State of Maharashtra, subject to the fulfilment of the following conditions:-

1. The legal status of forest land shall remain unchanged;
2. The demarcation of the proposed forest area shall be carried out at suitable places as per the direction of the DCF concerned at the cost of the User Agency;

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3. The State Government shall; carry out compensatory afforestation and its maintenance in the identified non forest area over an extent of **14.95 ha** in Sy No 87, 49/1, 49/2, 53, 50 & 67 at Vasanvihira of Chandrapur and an extent of **4.55 ha** in Sy No 232/2 in Gondmohadi Chandrapur at the cost of the User Agency. The identified non forest area **shall be transferred and mutated in favour of forest department and the State Government shall notify such mutated area in to RF/PF before final approval and copy of such notification shall be submitted along with the compliance report;**
4. **CA scheme shall be prepared and implemented as per the provision of under SI No 4 of the Schedule II of the Van (Samrakshan Evam Samvardhan) Rules 2023;**
5. The State Government shall charge the Net Present Value of the diverted forest land measuring **19.43 ha** from the User Agency as per the orders of the Hon'ble Supreme Court dated 28.03.2008 and 09.05.2008 in IA Nos.826 in 566 with related IA's in Writ Petition (Civil) No.202/1995 and Ministry's guideline No.5-3/2011-FC(Vol-I) dated 06.01.2022 and clarification issued vide letter dated 22.03.2022.
6. Additional amount of the Net Present Value (NPV) of the diverted forest land if any, becoming due after revision of the same by the Hon'ble Supreme Court of India in future, shall be charged by the State Government from the User Agency. The User Agency shall furnish an undertaking to this effect;
7. All the funds received from the User Agency under the project shall be transferred/ deposited to CAMPA fund only through e-portal (<https://parivesh.nic.in/>);
8. **All conditions recommended by the SC NBWL shall be implemented at the cost of the project;**
9. The State Government shall continue cumulative/holistic study on effects of construction of tunnels on the ecological, geological, hydrological, seismological and biodiversity aspects of the Sanjay Gandhi National Park including its carrying capacity from a reputed institution and implement the outcome measures, before taking up any activity underneath SGNP;
10. Proper muck disposal plan shall be implemented and in any way muck disposal shall not be done in the forest area;
11. Work shall be carried out only as per the timings that may be prescribed by the CWLW;
12. No Labour camps/ office etc shall be built in the forest area;
13. The UA shall ensure proper drainage system to flush out wastage throughout the tunnel and any way such waste / garbage shall not be disposed inside the tunnel area;
14. The UA at the project cost shall restore the area and compensate for the damage for the flora & fauna of the SGNP in case of any





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adverse impact (s) occurs during construction & operation phase throughout the project life due to construction of proposed tunnel;

15. No tree felling shall be carried out in SGNP for the project.
16. All mitigation measures as suggested in the reports submitted by the State Government shall be implemented by the concerned agency at the project cost.
17. The UA shall prepare and implement disaster management plan as per the relevant rules/ regulation to that extant, if required for such tunnel projects.
18. Detailed report on eviction of encroachers in SGNP and around area shall be submitted to the RO Nagpur by the State Government.
19. The State / UA shall ensure all other approvals / permission under relevant rules / regulation, if any required prior to commencement of the project work.
20. Proper labour camps shall be constructed in the non-forest area and in any case, labour camp shall not be made within the RF area;
21. **After ensuring settlement of rights under the Scheduled Tribes and Other Traditional Forest Dwellers (Recognition of Forest Rights) Act, 2006 (2 of 2007) and compliance to all such conditions, the State Government shall issue order for working permission and diversion as the case may be;**
22. User Agency shall obtain Environmental Clearance as per the provisions of the Environmental (Protection) Act, 1986, if applicable;
23. Sufficient firewood, preferably the alternate fuel, shall be provided by the User Agency to the labourers after purchasing the same from the State Forest Department or the Forest Development Corporation or any other legal source of alternate fuel;
24. No additional or new path will be constructed inside the forest area for the transportation of construction materials for execution of the project work;
25. The forest land proposed to be diverted shall under no circumstances be transferred or sublet to any other agencies, department or person without prior approval of Govt. of India;
26. The total forest area utilized for the project shall not exceed **19.43 ha** and the forest area diverted shall not be used for any purpose other than those shown in the diversion proposal. **The User Agency shall furnish an undertaking to this effect;**
27. The User Agency and the State Government shall ensure compliance to the all acts, rules, regulation and guidelines of the Ministry, for the time being in force, as applicable to the subject project;
28. Any other condition that the Regional Office, Nagpur may impose from time to time in the interest of afforestation, conservation and management of flora and fauna in the area shall be complied by the User Agency;



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29. In the event of failure to comply with any of the above conditions the User Agency is liable for penal action as per the rules / guidelines issued under Van(Sanrakshan Evam Samvardhan) Adhiniyam, 1980;
30. The State Government shall process and submit compliance report on the above conditions through online (<https://parivesh.nic.in/>).

The in-principle approval shall be valid for a period of **2 years** from the date of issue of the same. In the event of non- compliance of the above conditions within the stipulated period, this in-principle approval **shall be deemed to be null and void;**

**This Issues with the approval of DDGF (Central), Regional Office, MoEF & CC, Nagpur.**

Yours faithfully,

  
**(C.B. Tashildar)**  
AIGF (Central)

**Copy to:**

- i. The IGF (RoHQ), Ministry of Environment, Forest and Climate Change, Indira Paryavaran Bhawan, Jorbagh Road, Aliganj, New Delhi- 110003 **for information please**
- ii. The PCCF (HoFF), Government of Maharashtra, Nagpur.
- iii. User agency.
- iv. Guard file.

  
**(C.B. Tashildar)**  
AIGF (Central)

Forest-  
clearance o/c

**BRIHANMUMBAI MUNICIPAL CORPORATION**

No. Ch.E. /24/ 153 /GMLR dt 30/04/2024

Office of the  
**Chief Engineer (Bridges),**  
5-B Store Building, Bhandup Complex,  
Dargah Road, Khindipada,  
Mulund (West), Mumbai 400 082.  
Tel. No: 022 25962601 (Extn. 2006),  
Email - che.gmlr@mcgm.gov.in

To,  
**Chief Conservator of Forest and Director,**  
Sanjay Gandhi National Park,  
Borivali (E), Mumbai.

**Sub :-** Diversion of 19.43 ha of Reserved Forest Land in favour of Municipal Corporation Greater Mumbai for Construction of Tunnel underneath Sanjay Gandhi National Park along Goregaon Mulund Link Road by Municipal Corporation of Greater Mumbai in Mumbai Suburban District in the State of Maharashtra.

**Ref :-** 1) FC-II/MH-104/2019-NGP/12699 dtd 02/01/2024  
2) Desk-2/Land 1630/2023-24 dtd 04/01/2024  
3) Your letter u/no. कस-२/ जमीन /706 2019-20 dtd 27/05/2019

Sir,

Reference is requested to the "In Principal Approval" accorded for the GMLR Tunnel Proposal as per reference no. 1. With reference to approval and demand note issued for the payment by you, the compliance report of conditions is as follows.

Sr. no	Conditions	Compliance
1	The legal status of forest land shall remain unchanged;	Noted. Necessary Undertaking is enclosed herewith.
2	The demarcation of the proposed forest area shall be carried out at suitable places as per the direction of the DCF concerned at the cost of the User Agency;	The Topography Survey in SGNP area is in process by contractual Agency of Tunnel Work. The demarcation in forest area will be carried out in due course in consultation with DCF. Necessary Undertaking is enclosed herewith.

o/c

3	The State Government shall; carry out compensatory afforestation and its maintenance in the identified non forest area over an extent of 14.95 ha in Sy No 87, 49/1, 49/2, 53, 50 & 67 at Vasanvihira of Chandrapur and an extent of 4.55 ha in Sy No 232/2 in Gondmohadi Chandrapur at the cost of the User Agency. The identified non forest area shall be transferred and mutated in favour of forest department and the State Government shall notify such mutated area in to RF/PF before final approval and copy of such notification shall be submitted along with the compliance report;	The identified non forest area at Vasanvihira & Gondmohadi at Chandrapur are transferred and Property Card is in the name of Forest Department. Copy of Property cards are enclosed herewith.
4	CA scheme shall be prepared and implemented as per the provision of under SI No 4 of the Schedule II of the Van (Samrakshan Evam Samvardhan) Rules 2023;	CA Scheme prepared at village Gondmohadi of area 4.55 Ha. and village Vasanvihira of area 14.95 Ha., Tal. Chimur, Dist. Chandrapur.  The compliance of payment amounting to Rs. 2,36,01,364/- towards Compensatory Afforestation as per demand note issued by CCF & Director, SGNP is approved by Competent Authority and only process from Account Dept. of BMC is pending.
5	The State Government shall charge the Net Present Value of the diverted forest land measuring 19.43 ha from the User Agency as per the orders of the Hon'ble Supreme Court dated 28.03.2008 and 09.05.2008 in IA Nos. 826 in 566 with related IA's in Writ Petition (Civil) No.202/1995 and Ministry's guideline No.5-3/2011-FC(Vol-I) dated 06.01.2022 and clarification issued vide letter dated 22.03.2022.	The compliance of payment amounting to Rs. 31,00,61,997/- towards Net Present Value as per demand note issued by CCF & Director, SGNP is approved by Competent Authority and only process from Account Dept. of BMC is pending.
6	Additional amount of the Net Present Value (NPV) of the diverted forest land if any, becoming due after revision of the same by the Hon'ble Supreme Court of India in future, shall be charged by the State Government from the User Agency. The User Agency shall furnish an undertaking to this effect;	Noted. Necessary Undertaking is enclosed herewith.



7	All the funds received from the User Agency under the project shall be transferred/ deposited to CAMPA fund only through e-portal ( <a href="https://parivesh.nlc.in/">https://parivesh.nlc.in/</a> );	Noted. Necessary Undertaking is enclosed herewith.
8	All conditions recommended by the SC NBWL shall be implemented at the cost of the project;	Noted. Necessary Undertaking is enclosed herewith.
9	The State Government shall continue cumulative/holistic study on effects of construction of tunnels on the ecological, geological, hydrological, seismological and biodiversity aspects of the Sanjay Gandhi National Park including its carrying capacity from a reputed Institution and implement the outcome measures, before taking up any activity underneath SGNP;	Noted. Necessary Undertaking is enclosed herewith.
10	Proper muck disposal plan shall be implemented and in any way muck disposal shall not be done in the forest area;	Noted. Necessary Undertaking is enclosed herewith.
11	Work shall be carried out only as per the timings that may be prescribed by the CWLW;	Noted. Necessary Undertaking is enclosed herewith.
12	No Labour camps/ office etc shall be built in the forest area;	Noted. Necessary Undertaking is enclosed herewith.
13	The UA shall ensure proper drainage system to flush out wastage throughout the tunnel and in any way such waste / garbage shall not be disposed inside the tunnel area;	Noted. Necessary Undertaking is enclosed herewith.
14	The UA at the project cost shall restore the area and compensate for the damage for the flora & fauna of the SGNP in case of any adverse impact (s) occurs during construction & operation phase throughout the project life due to construction of proposed tunnel;	Noted. Necessary Undertaking is enclosed herewith.
15	No tree felling shall be carried out in SGNP for the project.	Noted. Necessary Undertaking is enclosed herewith.
16	All mitigation measures as suggested in the reports submitted by the State Government shall be implemented by the concerned agency at the project cost.	Noted. Necessary Undertaking is enclosed herewith.
17	The UA shall prepare and implement disaster management plan as per the relevant rules/ regulation to that extent, if required for such tunnel projects.	Noted. Necessary Undertaking is enclosed herewith.

18	Detailed report on eviction of encroachers in SGNP and around area shall be submitted to the RO Nagpur by the State Government.	Noted.
19	The State / UA shall ensure all other approvals / permission under relevant rules / regulation, if any required prior to commencement of the project work.	Noted. Necessary Undertaking is enclosed herewith.
20	Proper labour camps shall be constructed in the non-forest area and in any case, labour camp shall not be made within the RF area;	Noted. Necessary Undertaking is enclosed herewith.
21	After ensuring settlement of rights under the Scheduled Tribes and Other Traditional Forest Dwellers (Recognition of Forest Rights) Act, 2006 (2 of 2007) and compliance to all such conditions, the State Government shall issue order for working permission and diversion as the case may be;	Noted.
22	User Agency shall obtain Environmental Clearance as per the provisions of the Environmental (Protection) Act, 1986, if applicable;	Ministry of Environment, Forest and Climate Change, Govt of India has informed this office vide letter dtd 30/05/2018 that the GMLR Project does not attract the provisions of EIA Notification, 2006. Copy of Environmental Clearance is enclosed herewith.
23	Sufficient firewood, preferably the alternate fuel, shall be provided by the User Agency to the labourers after purchasing the same from the State Forest Department or the Forest Development Corporation or any other legal source of alternate fuel;	Noted. Necessary Undertaking is enclosed herewith.
24	No additional or new path will be constructed inside the forest area for the transportation of construction materials for execution of the project work;	Noted. Necessary Undertaking is enclosed herewith.
25	The forest land proposed to be diverted shall under no circumstances be transferred or sublet to any other agencies, department or person without prior approval of Govt. of India;	Noted. Necessary Undertaking is enclosed herewith.



26	The total forest area utilized for the project shall not exceed 19.43 ha and the forest area diverted shall not be used for any purpose other than those shown in the diversion proposal. The User Agency shall furnish an undertaking to this effect;	Noted. Necessary Undertaking is enclosed herewith.
27	The User Agency and the State Government shall ensure compliance to the all acts, rules, regulation and guidelines of the Ministry, for the time being in force, as applicable to the subject project;	Noted. Necessary Undertaking is enclosed herewith.
28	Any other condition that the Regional Office, Nagpur may impose from time to time in the interest of afforestation, conservation and management of flora and fauna in the area shall be complied by the User Agency;	Noted. Necessary Undertaking is enclosed herewith.
29	In the event of failure to comply with any of the above conditions the User Agency is liable for penal action as per the rules / guidelines issued under Van (Sanrakshan Evam Samvardhan) Adhiniyam, 1980;	Noted. Necessary Undertaking is enclosed herewith.
30	The State Government shall process and submit compliance report on the above conditions through online ( <a href="https://parivesh.nic.in/">https://parivesh.nic.in/</a> ).	Noted.

Considering the above compliance, you are requested to accord  
**"Work Permission"** for the prestigious GMLR Tunnel Project work.

(Acc.- as above)

Thanking you.

Yours Truly

*[Signature]*  
 Chief Engineer (Bridges)

*[Signature]*  
 02/05/2024  
 लिपिक  
 आवक जावक  
 मुख्य वनसंरक्षक व संचालक  
 संजय गांधी राष्ट्रीय उद्यान,  
 चोरीबली

*[Signature]*  
 29/4/24  
 SP(GMLR)

*[Signature]*  
 29-4-24

o/c  
*[Signature]*  
 29/04/24



**BRIHANMUMBAI MUNICIPAL CORPORATION**

No. Ch.E. /24/ 819 /GMLR dtd. 05/08/24

Office of the  
**Chief Engineer (Bridges),**  
5-B Store Building, Bhandup Complex,  
Dargah Road, Khindipada,  
Mulund (West), Mumbai 400 082.  
Tel. No: 022 25962601 (Extn. 2006),  
Email - che.gmlr@mcgm.gov.in

To,  
✓ **Chief Conservator of Forest and Director,**  
Sanjay Gandhi National Park,  
Borivali (E), Mumbai.

**Sub :-** Diversion of 19.43 ha of Reserved Forest Land in favour of Municipal Corporation Greater Mumbai for Construction of Tunnel underneath Sanjay Gandhi National Park along Goregaon Mulund Link Road by Municipal Corporation of Greater Mumbai in Mumbai Suburban District in the State of Maharashtra.

**Ref :-** 1) FC-II/MH-104/2019-NGP/12699 dtd 02/01/2024  
2) Desk-2/Land 1630/2023-24 dtd 04/01/2024  
3) Your letter u/no. कस-२/ जमीन /706 2019-20 dtd 27/05/2019  
4) This office letter u/no. Ch.E. /24/153/GMLR dtd. 30/04/2024

The 'In Principal Approval' is accorded for the GMLR Tunnel Project vide reference under Sr. (1) and accordingly the compliance report was earlier submitted by this office vide Sr. (4) above which is attached herewith for ready reference. The final compliance of this office is now submitted as below:

Sr. no.	Conditions	Compliance
1	The legal status of forest land shall remain unchanged;	Complied vide this office letter u/no. Ch.E. /24/153/ GMLR dtd. 30/04/2024
2	The demarcation of the proposed forest area shall be carried out at suitable places as per the direction of the DCF concerned at the cost of the User Agency;	Complied vide this office letter u/no. Ch.E. /24/153/ GMLR dtd. 30/04/2024  This office has already demarcated the proposed Forest area in SGNP. If required, the demarcation in forest area will be carried

		<p>out in due course in consultation with DCF. In this regard, this office has submitted letter u/no. Ch.E. /24/664/GMLR dtd. 08/07/2024.</p> <p>The copy of same is enclosed herewith.</p>
3	<p>The State Government shall; carry out compensatory afforestation and its maintenance in the identified non forest area over an extent of 14.95 ha in Sy No 87, 49/1, 49/2, 53, 50 &amp; 67 at Vasanvihira of Chandrapur and an extent of 4.55 ha in Sy No 232/2 in Gondmohadi Chandrapur at the cost of the User Agency. The identified non forest area shall be transferred and mutated in favour of forest department and the State Government shall notify such mutated area in to RF/PF before final approval and copy of such notification shall be submitted along with the compliance report;</p>	<p>Complied vide this office letter u/no. Ch.E. /24/153/ GMLR dtd. 30/04/2024</p>
4	<p>CA scheme shall be prepared and implemented as per the provision of under SI No 4 of the Schedule II of the Van (Samrakshan Evam Samvardhan) Rules 2023;</p>	<p>Complied vide this office letter u/no. Ch.E. /24/153 /GMLR dtd. 30/04/2024</p> <p>The User Agency BMC has paid the payment amounting to Rs. 2,36,01,364/- towards Compensatory Afforestation on CAMPA portal as per demand note issued by CCF &amp; Director, SGNP. The payment details are uploaded on Parivesh portal. The screenshot of the same is enclosed herewith for your ready reference please.</p>
5	<p>The State Government shall charge the Net Present Value of the diverted forest land measuring 19.43 ha from the User Agency as per the orders of the Hon'ble Supreme Court dated 28.03.2008 and 09.05.2008 in IA Nos. 826 In 566 with related IA's in Writ Petition (Civil) No.202/1995 and Ministry's guideline No.5-3/2011-FC(Vol-I) . dated</p>	<p>The User Agency BMC has paid the payment amounting to Rs. 31,00,61,997/- towards Net Present Value on CAMPA portal as per demand note issued by CCF &amp; Director, SGNP. The payment details</p>

	06.01.2022 and clarification issued vide letter dated 22.03.2022.	are uploaded on Parivesh portal. The screenshot of the same is enclosed herewith for your ready reference please.
6	Additional amount of the Net Present Value (NPV) of the diverted forest land if any, becoming due after revision of the same by the Hon'ble Supreme Court of India in future, shall be charged by the State Government from the User Agency. The User Agency shall furnish an undertaking to this effect;	Complied vide this office letter u/no. Ch.E. /24/153/ GMLR dtd. 30/04/2024
7	All the funds received from the User Agency under the project shall be transferred/ deposited to CAMPA fund only through e-portal ( <a href="https://parivesh.nic.in/">https://parivesh.nic.in/</a> );	Complied vide this office letter u/no. Ch.E. /24/153/ GMLR dtd. 30/04/2024
8	All conditions recommended by the SC NBWL shall be implemented at the cost of the project;	Complied vide this office letter u/no. Ch.E. /24/153/ GMLR dtd. 30/04/2024
9	The State Government shall continue cumulative/holistic study on effects of construction of tunnels on the ecological, geological, hydrological, seismological and biodiversity aspects of the Sanjay Gandhi National Park including its carrying capacity from a reputed institution and implement the outcome measures, before taking up any activity underneath SGNP;	Complied vide this office letter u/no. Ch.E. /24/153/ GMLR dtd. 30/04/2024
10	Proper muck disposal plan shall be implemented and in any way muck disposal shall not be done in the forest area;	Complied vide this office letter u/no. Ch.E. /24/153/ GMLR dtd. 30/04/2024.  Further, the Muck Disposal Plan has been submitted by the Contractual Agency which is attached herewith and it would be ensured that same is disposed off in Non-Forest Area.
11	Work shall be carried out only as per the timings that may be prescribed by the CWLW;	Complied vide this office letter u/no. Ch.E. /24/153/ GMLR dtd. 30/04/2024



12	No Labour camps/ office etc shall be built in the forest area;	Complied vide this office letter u/no. Ch.E. /24/153/ GMLR dtd. 30/04/2024
13	The UA shall ensure proper drainage system to flush out wastage throughout the tunnel and any way such waste / garbage shall not be disposed inside the tunnel area;	Complied vide this office letter u/no. Ch.E. /24/153/ GMLR dtd. 30/04/2024
14	The UA at the project cost shall restore the area and compensate for the damage for the flora & fauna of the SGNP in case of any adverse impact (s) occurs during construction & operation phase throughout the project life due to construction of proposed tunnel;	Complied vide this office letter u/no. Ch.E. /24/153/ GMLR dtd. 30/04/2024
15	No tree felling shall be carried out in SGNP for the project.	Complied vide this office letter u/no. Ch.E. /24/153/ GMLR dtd. 30/04/2024
16	All mitigation measures as suggested in the reports submitted by the State Government shall be implemented by the concerned agency at the project cost.	Complied vide this office letter u/no. Ch.E. /24/153/ GMLR dtd. 30/04/2024
17	The UA shall prepare and implement disaster management plan as per the relevant rules/ regulation to that extent, if required for such tunnel projects.	Complied vide this office letter u/no. Ch.E. /24/153 /GMLR dtd. 30/04/2024
18	Detailed report on eviction of encroachers in SGNP and around area shall be submitted to the RO Nagpur by the State Government.	Noted.
19	The State / UA shall ensure all other approvals / permission under relevant rules / regulation, if any required prior to commencement of the project work.	Complied vide this office letter u/no. Ch.E. /24/153/ GMLR dtd. 30/04/2024
20	Proper labour camps shall be constructed in the non-forest area and in any case, labour camp shall not be made within the RF area;	Complied vide this office letter u/no. Ch.E. /24/153 /GMLR dtd. 30/04/2024
21	After ensuring settlement of rights under the Scheduled Tribes and Other Traditional Forest Dwellers (Recognition of Forest Rights) Act, 2006 (2 of 2007) and compliance to all such conditions, the State Government shall issue order for working permission and diversion as the case may be;	Noted.



22	User Agency shall obtain Environmental Clearance as per the provisions of the Environmental (Protection) Act, 1986, if applicable;	Complied vide this office letter u/no. Ch.E. /24/153/ GMLR dtd. 30/04/2024
23	Sufficient firewood, preferably the alternate fuel, shall be provided by the User Agency to the labourers after purchasing the same from the State Forest Department or the Forest Development Corporation or any other legal source of alternate fuel;	Complied vide this office letter u/no. Ch.E. /24/153/ GMLR dtd. 30/04/2024
24	No additional or new path will be constructed inside the forest area for the transportation of construction materials for execution of the project work;	Complied vide this office letter u/no. Ch.E. /24/153/ GMLR dtd. 30/04/2024
25	The forest land proposed to be diverted shall under no circumstances be transferred or sublet to any other agencies, department or person without prior approval of Govt. of India;	Complied vide this office letter u/no. Ch.E. /24/153/ GMLR dtd. 30/04/2024
26	The total forest area utilized for the project shall not exceed 19.43 ha and the forest area diverted shall not be used for any purpose other than those shown in the diversion proposal. The User Agency shall furnish an undertaking to this effect;	Complied vide this office letter u/no. Ch.E. /24/153/ GMLR dtd. 30/04/2024
27	The User Agency and the State Government shall ensure compliance to the all acts, rules, regulation and guidelines of the Ministry, for the time being in force, as applicable to the subject project;	Complied vide this office letter u/no. Ch.E. /24/153/ GMLR dtd. 30/04/2024
28	Any other condition that the Regional Office, Nagpur may impose from time to time in the interest of afforestation, conservation and management of flora and fauna in the area shall be complied by the User Agency;	Complied vide this office letter u/no. Ch.E. /24/153/ GMLR dtd. 30/04/2024
29	In the event of failure to comply with any of the above conditions the User Agency is liable for penal action as per the rules / guidelines issued under Van (Sanrakshan Evam Samvardhan) Adhinyam, 1980;	Complied vide this office letter u/no. Ch.E. /24/153/ GMLR dtd. 30/04/2024

30	The State Government shall process and submit compliance report on the above conditions through online ( <a href="https://parivesh.nlc.in/">https://parivesh.nlc.in/</a> ).	Noted.
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**Considering the above compliance, you are requested to accord 'Final Approval' for the GMLR Tunnel Project work.**

(Acc. - as above in 4 sets)

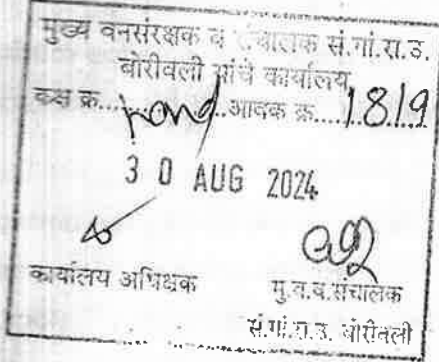
Thanking you.

Yours Truly

  
Chief Engineer (Bridges)

**BRIHANMUMBAI MUNICIPAL CORPORATION**

No. Ch.E. /24/ 972 /GMLR dtd. 29/08/2024



Office of the  
**Chief Engineer (Bridges),**  
5-B Store Building, Bhandup Complex,  
Dargah Road, Khindipada,  
Mulund (West), Mumbai 400 082.  
Tel. No: 022 25962601 (Extn. 2006),  
Email - che.gmlr@mcgm.gov.in

To  
✓ **Chief Conservator of Forest and Director,**  
Sanjay Gandhi National Park,  
Borivali (E), Mumbai.

**Sub :-** Diversion of 19.43 ha of Reserved Forest Land in favour of Municipal Corporation Greater Mumbai for Construction of Tunnel underneath Sanjay Gandhi National Park along Goregaon Mulund Link Road by Municipal Corporation of Greater Mumbai in Mumbai Suburban District in the State of Maharashtra.

**Ref :-** 1) FC-II/MH-104/2019-NGP/12699 dtd 02/01/2024  
2) Desk-2/Land 1630/2023-24 dtd 04/01/2024  
3) Your letter u/no. कक्ष-२/ जमीन /706 2019-20 dtd 27/05/2019  
4) This office letter u/no. Ch.E. /24/153/GMLR dtd. 30/04/2024  
5) This office letter u/no. Ch.E. /24/819/GMLR dtd. 05/08/2024  
6) This office letter u/no. Ch.E. /24/838/GMLR dtd. 07/08/2024

Sir,

With reference to above, this office has submitted the compliance of conditions mentioned in 'In Principal Approval' accorded for the GMLR Tunnel Project vide reference under Sr. (4) and (5).

The Muck Disposal Plan submitted by the Contractual Agency was forwarded to the SGNP Authorities vide Sr. No.(5) above. The contractor has now proposed the Muck Disposal in two Phases.

**Phase-I:** The contractor has proposed to dispose of muck of approx. Quantity 5 lacs Cum. Copies of 7/12 Extracts of reference plots submitted by the Contractor are attached herewith.

**Phase-II:** The contractor has proposed to dispose of balance muck of approx. Quantity 20 lacs Cum. for which separate proposal will be submitted to SGNP in due course.

The GMLR Tunnel work alignment passes beneath the SGNP. The boring of the tunnel is proposed to be carried out by Tunnel Boring Machine. The boring tunnel is a continuous operation which should not interrupted. The IIT Bombay vide letter dated 23/05/2024, has stated that *'the removal of tunnelling muck, RCC segment fixing, and grouting of the annular space, to stabilise the surrounding rock mass, are to be executed in tandem (simultaneously/continuously) and the TBM operations should go on uninterrupted'*, copy attached herewith. Hence, you are requested to accord 24 x 7 Hrs. Working Permission for the GMLR Tunnel work.

**Considering above, you are requested to accord '24X7 Work Permission' for the GMLR Tunnel Project.**

(Acc. - as above)

Thanking you.

Yours Truly

*N. Sengupta*  
Ex. Engineer (Bridges)

29/08/24

Annexure - 1

**BRIHANMUMBAI MUNICIPAL CORPORATION**

Office of the Chief Engineer (Bridges), Ground Floor, Engineering Hub Building,  
Dr. E. Moses Road, Worli. Mumbai-400018  
E-mail:-[che.gmlr@mcgm.gov.in](mailto:che.gmlr@mcgm.gov.in)


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**UNDERTAKING**

**Sub:-** Diversion of 19.43 ha. of Reserved Forest Land in favour of Municipal Corporation of Greater Mumbai for Construction of Tunnel underneath Sanjay Gandhi National Park along Goregaon Mulund Link Road by Municipal Corporation of Greater Mumbai in Mumbai Suburban District in the State of Maharashtra.

We, BRIHANMUMBAI MUNICIPAL CORPORATION, submit an undertaking to maintain the legal status of the diverted 19.43 Ha. Reserved Forest Land for " The Proposed Design construction and operation of twin tunnel from Film City Goregaon to Khindipada (Amar nagar) Mulund including Box Tunnel (Cut & Cover) at Film City, Electrical, Mechanical and associated works."

**Authorized Signatory**

  
(Vivek D. Kalyankar)

**Chief Engineer (Bridges)**

**For, BRIHANMUMBAI MUNICIPAL CORPORATION**





**BRIHANMUMBAI MUNICIPAL CORPORATION**

Office of the Chief Engineer (Bridges), Ground Floor, Engineering Hub Building,  
Dr. E. Moses Road, Worli. Mumbai-400018  
E-mail:-[che.gmlr@mcgm.gov.in](mailto:che.gmlr@mcgm.gov.in)

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**UNDERTAKING**

**Sub:-** Diversion of 19.43 ha. of Reserved Forest Land in favour of Municipal Corporation of Greater Mumbai for Construction of Tunnel underneath Sanjay Gandhi National Park along Goregaon Mulund Link Road by Municipal Corporation of Greater Mumbai in Mumbai Suburban District in the State of Maharashtra.

We, BRIHANMUMBAI MUNICIPAL CORPORATION, submit an undertaking that the boundary of the diverted forest land will be suitably demarcated on ground at the project cost, as per the directions of the concerned Deputy Conservator of Forests in "The Proposed Design construction and operation of twin tunnel from Film City Goregaon to Khindipada (Amar nagar) Mulund including Box Tunnel (Cut & Cover) at Film City, Electrical, Mechanical and associated works."

**Authorized Signatory**

  
(Vivek D. Kalyankar)

**Chief Engineer (Bridges)**

**For, BRIHANMUMBAI MUNICIPAL CORPORATION**











[ महाराष्ट्र जमीन महसूल अधिकार अभिलेख आणि नोंदवह्या ( तयार करणे व सुस्थितीत ठेवणे ) नियम, १९७९ यातील नियम २९ ]

गाव :- वासनविहिरा  
रिठ

तालुका :- चिमुर

जिल्हा :- चंद्रपूर

गट क्रमांक व उपविभाग : 49/1

पिकाखालील क्षेत्राचा तपशील											लागवडीसाठी उपलब्ध नसलेली जमीन	जल सिंचनाचे साधन	शेरा	
मिश्र पिकाखालील क्षेत्र							निर्भळ पिकाखालील क्षेत्र							
वर्ष	हंगाम	मिश्रणाचा संकेत क्रमांक	जल सिंचित	अजल सिंचित	पिकांचे नाव	जल सिंचित	अजल सिंचित	पिकांचे नाव	जल सिंचित	अजल सिंचित				स्वरूप
(१)	(२)	(३)	(४)	(५)	(६)	(७)	(८)	(९)	(१०)	(११)	(१२)	(१३)	(१४)	(१५)
			हे.आर. चौ.मी	हे.आर. चौ.मी		हे.आर. चौ.मी	हे.आर. चौ.मी		हे.आर. चौ.मी	हे.आर. चौ.मी		हे.आर. चौ.मी		
2017-18	खरीप							भात		3.0000				
2018-19	रब्बी							गहू		1.0000				
								हिरण्मय		1.0000				
								ज्वार		1.0000				
	खरीप							भात		3.0000				
2019-20	खरीप							तुर		1.0000				
								भात		3.0000				
								गहू		1.0000				

For View Only

For View Only

सुचना : या सकितस्थळावर दर्शविलेली माहिती ही कोणत्याही शासकीय अथवा कायदेशीर बाबींसाठी वापरता येणार नाही.





अहवाल दिनांक : 01/10/2020

गाव नमुना सात  
अधिकार अभिलेख पत्रक

[ महाराष्ट्र जमीन महसूल अधिकार अभिलेख आणि नोंदवह्या ( तयार करणे व सुस्थितीत ठेवणे ) नियम, १९७१ यातील नियम ३, ५, ६ आणि ७ ]

गाव :- वासनविहिरा रिठ तालुका :- चिमुर  
गट क्रमांक व उपविभाग : 49/2

जिल्हा :- चंद्रपूर

गट क्रमांक व उपविभाग 49/2		भू-धारणा पध्दती भोगवटादार वर्ग -1	भोगवटादाराचे नांव	
शेताचे स्थानिक नांव :-		क्षेत्र	आकार पों.ख. फे.फा	खाते क्रमांक
क्षेत्र एकक	हे.आर.चौ.मी	[ भावना गोकर्णसिंह शेंगर	4.82.00/5.50 (99)	[63], 1065
जिरायत	4.82.00	सहस्रराष्ट्र शासने वन विभाग	4.82.00/5.50 (99)	कुळाचे नाव
बागायत	-			इतर अधिकार
तरी	-			इतर
वरकस	-			20/07/12 (64)
इतर	-			बोजा ] (106)
एकूण क्षेत्र	4.82.00			[बँक ऑफ इंडिया नेरी यांचे कडून
पोट-खराब (लागवडीस अयोग्य)	-			3,00,000/- रु.बोजा नोंद ] (106)
वर्ग (अ)	-			
वर्ग (ब)	-			
एकूण पों ख	0.00.00			
आकारणी	5.50			
जुडी किंवा विशेष- आकारणी				
जुने फेरफार क्र. (64),(66),(83)			सीमा आणि भुमापन चिन्हे :	

सुचना : या संकेतस्थळावर दर्शविलेली माहिती ही कोणत्याही शासकीय अथवा कायदेशीर बाबींसाठी वापरता येणार नाही.



गाव नमुना बारा  
पिकांची नोंदवही

[ महाराष्ट्र जमीन महसूल अधिकार अभिलेख आणि नोंदवही ( तयार करणे व सुस्थितीत ठेवणे ) नियम, १९७१ यातील नियम २९ ]  
गाव :- वासनविहिरा रिठ तालुका :- चिमुर जिल्हा :- चंद्रपूर  
गट क्रमांक व उपविभाग : 49/2

पिकाखालील क्षेत्राचा तपशील											लागवडीसाठी उपलब्ध नसलेली जमीन		जल सिंचनाचे साधन	शेरा
मिश्र पिकाखालील क्षेत्र								निर्भळ पिकाखालील क्षेत्र						
वर्ष	हंगाम	मिश्रणाचा संकेत क्रमांक	जल सिंचित	अजल सिंचित	पिकांचे नाव	जल सिंचित	अजल सिंचित	पिकांचे नाव	जल सिंचित	अजल सिंचित	स्वरूप	क्षेत्र		
(१)	(२)	(३)	(४)	(५)	(६)	(७)	(८)	(९)	(१०)	(११)	(१२)	(१३)	(१४)	(१५)
			हे.आर. चौ.मी	हे.आर. चौ.मी		हे.आर. चौ.मी	हे.आर. चौ.मी		हे.आर. चौ.मी	हे.आर. चौ.मी		हे.आर. चौ.मी		
2017-18	खरीप							भात		4.0000	पडित	0.0200		
2018-19	खरीप							भात		4.0000	पडित	0.0200		
2019-20	खरीप							भात		4.0000	पडित	0.0200		

सुचना : या संकेतस्थळावर दर्शविलेली माहिती कोणत्याही शासकीय अथवा कायदेशीर बाबीसाठी वापरता येणार नाही.

For View Only





अहवाल दिनांक : 01/10/2020

गाव नमुना सात  
अधिकार अभिलेख पत्रक  
। महाराष्ट्र जमीन महसूल अधिकार अभिलेख आणि नोंदवह्या ( तयार करणे व सुस्थितीत ठेवणे ) नियम, १९७१ यातील  
नियम ३, ५, ६ आणि ७ ]

गाव :- वासनविहिरा तालुका :- चिमुर जिल्हा :- चंद्रपूर  
रिठ  
गट क्रमांक व उपविभाग : ८७

गट क्रमांक व उपविभाग	भू-धारणा पध्दती	भोगवटादाराचे नांव
८७	भोगवटादार वर्ग -१	
येताचे स्थानिक नांव :-	भूमिअभिलेख निर्णयात क्षेत्र आकार पो.ख. फेरफा	खाते क्रमांक
क्षेत्र एकक हे.आर.चे मा. ०.५७००	भूमिअभिलेख निर्णयात क्षेत्र आकार पो.ख. फेरफा ०.५७.०० १.०५ ( १०१ )	[१०४५] १०६५
जिरीयत	शे.ग. ०.५७.०० १.०५ ( १०१ )	कळ्याचे नांव
बागायत	महाराष्ट्र शासन वन विभाग	इतर अधिकार
तरी		इतर
वरकस		७/११/९६ ( ९ )
इतर		इतर
एकूण क्षेत्र ०.५७.००		१४/७/९९ ( १७ )
पोट-खराब (लागवडीस अयोग्य)		इतर
वर्ग (अ)		उपविभागीय अधिकारी चिमूर
वर्ग (ब)		पांच्या आदेशाने
एकूण पो.ख. ०.००.००		रा.मा.क्र./९/एल.एन.डी.१८/२०१५-
आकारणी १.०५		२०१६ भोवर्ग २ ची भोवर्ग १ करण्यात
जुडी किंवा विशेष		येत आहे. ( ७३ )
आकारणी		[ इतर ] ( १०६ )
		[बँक ऑफ इंडिया शा.नेरी कडुन
		७०००० रु.बोजा. ] ( १०६ )
जुने फेरफार क्र. (९),(१७),(५८),(७३),(८४)		सीमा आणि भुमापन चिन्हे :

सुचना : या संकेतस्थळावर दर्शविलेली माहिती ही कोणत्याही शासकीय अथवा कायदेशीर बाबींसाठी वापरता येणार नाही.

गाव नमुना बारा  
पिकांची नोंदवही





[ महाराष्ट्र जमीन महसूल अधिकार अभिलेख आणि नोंदवहा ( तयार करणे व सुस्थितीत ठेवणे ) नियम, १९७१ यातील नियम २९ ]

गाव :- वासनविहिरा  
रिठ

तालुका :- चिभुर

जिल्हा :- चंद्रपूर

गट क्रमांक व उपविभाग : ८७

पिकाखालील क्षेत्राचा तपशील											लागवडीसाठी उपलब्ध नसलेली जमीन		जल सिंचनाचे साधन	शेरा
मिश्र पिकाखालील क्षेत्र								निर्भळ पिकाखालील क्षेत्र						
				घटक पिके व प्रत्येकाखालील क्षेत्र										
वर्ष	हंगाम	मिश्रणाचा संकेत क्रमांक	जल सिंचित	अजल सिंचित	पिकांचे नाव	जल सिंचित	अजल सिंचित	पिकांचे नाव	जल सिंचित	अजल सिंचित	स्वरूप	क्षेत्र		
(१)	(२)	(३)	(४)	(५)	(६)	(७)	(८)	(९)	(१०)	(११)	(१२)	(१३)	(१४)	(१५)
			हे.आर. चौ.मी	हे.आर. चौ.मी		हे.आर. चौ.मी	हे.आर. चौ.मी		हे.आर. चौ.मी	हे.आर. चौ.मी		हे.आर. चौ.मी		
२०१७-१८	खरीप							जवस		०.५७००				
२०१८-१९	खरीप							जवस		०.५७००				
२०१९-२०	खरीप							जवस		०.५७००				

सूचना : या संकेतस्थळावर दर्शविलेली माहिती ही काणत्याही शासकीय वा वैयक्तिक वापरासाठी वापरता येणार नाही.

For View Only



अहवाल दिनांक : 01/10/2020

गाव नमुना सात  
अधिकार अभिलेख पत्रक

[ महाराष्ट्र जमीन महसूल अधिकार अभिलेख आणि नोंदवहा ( तयार करणे व सुस्थितीत ठेवणे ) नियम, १९७१ यातील नियम ३, ५, ६ आणि ७ ]

गाव :- वासनविहिरा रिठ तालुका :- चिमुर्  
गट क्रमांक व उपविभाग : 50

जिल्हा :- चंद्रपूर

गट क्रमांक व उपविभाग 50		भू-धारणा पध्दती भोगवटादार वर्ग -1		भोगवटादाराचे नांव	
शेताचे स्थानिक नांव :-		क्षेत्र आकार पो.ख. फे.फा		खाते क्रमांक	
क्षेत्र एकक	हे.आर.चौ.मी	[ मिराबाई दर्यावसिंह बघेल 1.03.00' 1.80' ] (96)		[35], 1065	
जिरायत	1.03.00	महाराष्ट्र शासन वनी विभाग 1.03.00' 1.80' (96)		कुळाचे नाव	
बागायत	-			इतर अधिकार	
तरी	-			इतर	
वरकस	-			7/11/96 (9)	
इतर	-			बँक ऑफ इंडिया शा नेरी कडून 15000	
एकूण क्षेत्र	1.03.00			बोजा (9)	
पोट-खराब (लागवडीस अयोग्य)	-			इतर	
वर्ग (अ)	-			14/7/99 (17)	
वर्ग (ब)	-			बोजा	
एकूण पो ख	0.00.00			उपविभागीय अधिकारी चिमुर् यांच्या	
आकारणी	1.80			आदेशाने रा.मा.क्र.4/एल.एन.डी.18/2015-	
जुडी किंवा विशेष- आकारणी	-			2016 भोवर्ग 2 ची भोवर्ग 1 करण्यात येत आहे. (73)	
				[ बोजा ] (103)	
				[ बँक ऑफ इंडिया शाखा नेरी कडून	
				४०००० रु बोजा नोंद ] (103)	
जुने फेरफार क्र. (9),(17),(40),(73),(83)				सीमा आणि भुमापन चिन्हे :	

सुचना : या संकेतस्थळावर दर्शविलेली माहिती ही कोणत्याही शासकीय अथवा कायदेशीर बाबींसाठी वापरता येणार नाही.





गाव नमुना बारा  
पिकांची नोंदवही

[ महाराष्ट्र जमीन महसूल अधिकार अभिलेख आणि नोंदवही ( तयार करणे व सुस्थितीत ठेवणे ) नियम, १९७१ यातील नियम २१ ]  
गाव :- वासनविहारा रिठ तालुका :- चिमुर जिल्हा :- चंद्रपूर  
गट क्रमांक व उपविभाग : 50

पिकाखालील क्षेत्राचा तपशील											लागवडीसाठी उपलब्ध नसलेली जमीन		जल सिंचनाचे साधन	शेरा
मिश्र पिकाखालील क्षेत्र								निर्भळ पिकाखालील क्षेत्र						
घटक पिके व प्रत्येकाखालील क्षेत्र														
वर्ष	हंगाम	मिश्रणाचा संकेत क्रमांक	जल सिंचित	अजल सिंचित	पिकांचे नाव	जल सिंचित	अजल सिंचित	पिकांचे नाव	जल सिंचित	अजल सिंचित	स्वरूप	क्षेत्र		
(१)	(२)	(३)	(४)	(५)	(६)	(७)	(८)	(९)	(१०)	(११)	(१२)	(१३)	(१४)	(१५)
			हे.आर. चौ.मी	हे.आर. चौ.मी		हे.आर. चौ.मी	हे.आर. चौ.मी		हे.आर. चौ.मी	हे.आर. चौ.मी		हे.आर. चौ.मी		
2017-18	खरीप							भात	1.0300					
2018-19	खरीप							भात	1.0300					
2019-20	खरीप							भात	1.0300					

सुचना : या संकेतस्थळावर दर्शविलेली माहिती कोणत्याही शासकीय अथवा कायदेशीर बाबीसाठी वापरता येणार नाही.

For View Only



अहवाल दिनांक : 01/10/2020

गाव नमुना सात  
अधिकार अभिलेख पत्रक

[ महाराष्ट्र जमीन महसूल अधिकार अभिलेख आणि नोंदवह्या ( तयार करणे व सुस्थितीत ठेवणे ) नियम, १९७१ यातील नियम ३, ५, ६ आणि ७ ]

गाव :- गोंडमोहाडी तालुका :- चिमुर  
गट क्रमांक व उपविभाग : 232/2

जिल्हा :- चंद्रपूर

गट क्रमांक व उपविभाग 232/2	भू-धारणा पध्दती भोगवटादार वर्ग -1	भोगवटादाराचे नांव
येताचे स्थानिक नांव :-	क्षेत्र आकार पो.ख. फे.फा	खाते क्रमांक
क्षेत्र एकक हे.आर.चौ.मी जिरायत 4.55.00 बागायत - तरी - वरकस - इतर - एकूण क्षेत्र 4.55.00 पोट-खराब (लागवडीस अयोग्य) वर्ग (अ) - वर्ग (ब) - एकूण पो ख 0.00.00 आकारणी 9.25 जुडी किंवा विशेष- आकारणी	<p>कक्सपोल हॉटेल्स अंड रिसोर्ट्स लिमिटेड मुखा सुरियसिप्टि एमिस्तर हाउसिंग प्रॉजेक्ट चंद्रपूर जिल्हा महाराष्ट्र ७५००१३ पश्चिम बंगाल तर्फे असलेल्या श्री उमाशंकर समकिसन मोपन (व्यवस्थापक )रा.पो.ता.जि. त्रिलोकपुरी दिल्ली .</p> <p>देविदास दत्तस्थ वेद्य 3.03.00 6.16 (265) सुनिल बालकिसन 1.52.00 3.09 (265) अग्रवाल</p> <p>महाराष्ट्र शासन वन विभाग 4.55.00 9.25 (265)</p>	<p>[1169], [1174], [1175], 1178 कुळाचे नाव इतर अधिकार इतर पोटविभाजन बाबत (183)</p>
जुने फेरफार क्र. (1),(183),(227),(254),(255)	सीमा आणि भुमापन चिन्हे :	

सुचना : या संकेतस्थळावर दर्शविलेली माहिती ही कोणत्याही शासकीय अथवा कायदेशीर बाबींसाठी वापरता येणार नाही.





गाव नमुना बारा  
पिकांची नोंदवही

महाराष्ट्र जमीन महसूल अधिकार अभिलेख आणि नोंदवही ( तयार करणे व सुस्थितीत ठेवणे ) नियम, १९७९ यातील नियम २१  
गाव :- गोंडमोहाडी तालुका :- चिमुर जिल्हा :- चंद्रपूर  
गट क्रमांक व उपविभाग : 232/2

पिकाखालील क्षेत्राचा तपशील											लागवडीसाठी उपलब्ध नसलेली जमीन		जल सिंचनाचे साधन	शेरा
मिश्र पिकाखालील क्षेत्र								निर्भळ पिकाखालील क्षेत्र						
घटक पिके व प्रत्येकाखालील क्षेत्र														
वर्ष	हंगाम	मिश्रणाचा संकेत क्रमांक	जल सिंचित	अजल सिंचित	पिकांचे नाव	जल सिंचित	अजल सिंचित	पिकांचे नाव	जल सिंचित	अजल सिंचित	स्वरूप	क्षेत्र		
(१)	(२)	(३)	(४)	(५)	(६)	(७)	(८)	(९)	(१०)	(११)	(१२)	(१३)	(१४)	(१५)
			हे.आर. चौ.मी	हे.आर. चौ.मी		हे.आर. चौ.मी	हे.आर. चौ.मी		हे.आर. चौ.मी	हे.आर. चौ.मी		हे.आर. चौ.मी		
2017-18	खरीप										चालू पड	4.5500		
2018-19	खरीप										चालू पड	4.5500		
2019-20	खरीप										चालू पड	4.5500		

सुचना : या संकेतस्थळावर दर्शविलेली माहिती कोणत्याही व्यासकीय अथवा कायदेशीर बाबीसाठी वापरता येणार नाही.

For View Only





अहवाल दिनांक : 01/10/2020

गाव नमुना सात  
अधिकार अभिलेख पत्रक

[ महाराष्ट्र जमीन महसूल अधिकार अभिलेख आणि नोंदवह्या ( तयार करणे व सुस्थितीत ठेवणे ) नियम, १९७१ यातील नियम ३, ५, ६ आणि ७ ]

गाव :- वासनविहिरा रिठ तालुका :- चिमुर  
गट क्रमांक व उपविभाग : 53

जिल्हा :- चंद्रपूर

गट क्रमांक व उपविभाग 53	भू-धारणा पध्दती भोगवटादार वर्ग -1	भोगवटादाराचे नांव
खेताचे स्थानिक नांव :-	क्षेत्र आकार पो.ख. फे.फा	खाते क्रमांक
क्षेत्र एकक हे.आर.चौ.मी	[ माधुरी गणेशसिंह शेंगर 3.74.00 6.25 (97.)	[34], 1065
जिरायत 3.74.00	महाराष्ट्र शासन वन विभाग 3.74.00 6.25 (97.)	कुळाचे नाव
बागायत		इतर अधिकार
तरी		इतर
वरकस		7/11/96 (9)
इतर		इतर
एकूण क्षेत्र 3.74.00		14/7/99 (17)
पोट-खराब (लागवडीस अयोग्य)		[ इतर ] (94)
वर्ग (अ)		[08/11/07 स्टेट बँक शा तळोधी
वर्ग (ब)		बाळापुर कडून 450000 रु बोजा . ] (94)
एकूण पो ख 0.00.00		
आकारणी 6.25		
जुडी किंवा विशेष- आकारणी		
जुने फेरफार क्र. (9),(17),(37),(83)		सीमा आणि भुमापन चिन्हे : सदरहु स.न.च्या मध्यभागी 1 चौ.गोटा ओ

सूचना : या संकेतस्थळावर दर्शविलेली माहिती ही कोणत्याही शासकीय अथवा कायदेशीर बाबींसाठी वापरता येणार नाही.



गाव नमुना बारा  
पिकांची नोंदवही

[ महाराष्ट्र जमीन महसूल अधिकार अभिलेख आणि नोंदवही ( तयार करणे व सुस्थितीत ठेवणे ) नियम, १९७१ यातील नियम ]  
गाव :- वासनविहिरा रिठ तालुका :- चिमुर जिल्हा :- चंद्रपूर  
गट क्रमांक व उपविभाग : 53

पिकाखालील क्षेत्राचा तपशील											लागवडीसाठी उपलब्ध नसलेली जमीन	जल सिंचनाचे साधन	शेरा	
मिश्र पिकाखालील क्षेत्र								निर्भळ पिकाखालील क्षेत्र						
		घटक पिके व प्रत्येकाखालील क्षेत्र												
वर्ष	हंगाम	मिश्रणाचा संकेत क्रमांक	जल सिंचित	अजल सिंचित	पिकांचे नाव	जल सिंचित	अजल सिंचित	पिकांचे नाव	जल सिंचित	अजल सिंचित	स्वरूप	क्षेत्र		
(१)	(२)	(३)	(४)	(५)	(६)	(७)	(८)	(९)	(१०)	(११)	(१२)	(१३)	(१४)	(१५)
			हे.आर. चौ.मी	हे.आर. चौ.मी		हे.आर. चौ.मी	हे.आर. चौ.मी		हे.आर. चौ.मी	हे.आर. चौ.मी		हे.आर. चौ.मी		
2017-18	खरीप							भात	3.7400				तलाव	
2018-19	खरीप							भात	3.7400				तलाव	
2019-20	खरीप							भात	3.7400				तलाव	

सुचना : या संकेतस्थळावर दर्शविलेली माहिती कोणत्याही खासगीय अथवा कायदेशीर जबाबदारी वापरता येणार नाही.

For View Only





अहवाल दिनांक : 01/10/2020

गाव नमुना सात  
अधिकार अभिलेख पत्रक

[ महाराष्ट्र जमीन महसूल अधिकार अभिलेख आणि नोंदवहा ( तयार करणे व सुस्थितीत ठेवणे ) नियम, १९७१ यातील नियम ३,५६ आणि ७ ]

गाव :- वासनविहिरा रिठ तालुका :- चिमुर्  
गट क्रमांक व उपविभाग : 67

जिल्हा :- चंद्रपूर

गट क्रमांक व उपविभाग 67	भू-धारणा पद्धती भोगवटादार वर्ग -1	भोगवटादाराचे नांव
शेताचे स्थानिक नांव :-	क्षेत्र आकार पो.ख. फे.फा	खाते क्रमांक
क्षेत्र एकक हे.आर.चौ.मी जिरायत 1.12.00 बागायत - तरी - वरकस - इतर - एकूण क्षेत्र 1.12.00 पोट-खराब (लागवडीस अयोग्य) वर्ग (अ) - वर्ग (ब) - एकूण पो ख 0.00.00 आकारणी 3.35 जुडी किंवा विशेष- आकारणी	[ अब्दुल कलाम खाँ अब्दुल सलाम खाँ सिद्धिमुनिनेशा पठारियात् माईक दा महाराष्ट्र शासन वन विभाग ] 1.12.00 35 (98)	[15], 1065 कुळाचे नाव इतर अधिकार इतर 25/8/98 (13)
जुने फेरफार क्र. (13),(84)	सीमा आणि भुमापन चिन्हे :	

सुचना : या संकेतस्थळावर दर्शविलेली माहिती ही कोणत्याही शासकीय अथवा कायदेशीर बाबींसाठी वापरता येणार नाही.



गाव नमुना बारा  
पिकांची नोंदवही

[ महाराष्ट्र जमीन महसूल अधिकार अभिलेख आणि नोंदवही ( तयार करणे व सुस्थितीत ठेवणे ) नियम, १९७१ यातील नियम २१ ]  
गाव :- वासनविहारा रिठ तालुका :- चिमुर जिल्हा :- चंद्रपूर  
गट क्रमांक व उपविभाग : 67

पिकाखालील क्षेत्राचा तपशील										लागवडीसाठी उपलब्ध नसलेली जमीन		जल सिंचनाचे साधन	शेरा	
मिश्र पिकाखालील क्षेत्र							निर्भळ पिकाखालील क्षेत्र							
वर्ष	हंगाम	मिश्रणाचा संकेत क्रमांक	जल सिंचित	अजल सिंचित	पिकांचे नाव	जल सिंचित				अजल सिंचित	पिकांचे नाव			जल सिंचित
(१)	(२)	(३)	(४)	(५)	(६)	(७)	(८)	(९)	(१०)	(११)	(१२)	(१३)	(१४)	(१५)
			हे.आर. चौ.मी	हे.आर. चौ.मी		हे.आर. चौ.मी	हे.आर. चौ.मी		हे.आर. चौ.मी	हे.आर. चौ.मी		हे.आर. चौ.मी		
2017-18	खरीप							भात	1.1200				तलाव	
2018-19	खरीप							भात	1.1200				तलाव	
2019-20	खरीप							भात	1.1200				तलाव	

सुचना : या संकेतस्थळावर नोंदविलेली माहिती कोणत्याही शासकीय अथवा कायदेशीर बाबीसाठी वापरता येणार नाही.

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Ministry of Environment, Forest and Climate Change  
Government of India

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Proposals received on or after 15th July 2014

All Proposals received upto 14th July 2014

Sno.	Proposal No.	Application No	Application No (New)	Proposal Name	Category	Area (ha.)	User Agency Name	Date of IN-PRINCIPLE	Demand Verified Date	Action	Fill Payment Details	Status
1	FP/SW/ROAD/27126/2017	ROAD2712626172916127126291		Proposed Construction of Goregaon-Mhind Link Road, at Village - Aarey, Gundgaon, Vihar & Mahur, District - Mumbai Suburban by MCGA	Road	19.43	MUNICIPAL CORPORATION OF GREATER NUNBAI	02-1-2024	26-3-2024	Paid	Paid	Paid

Olympic Games Medal updates

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**BRIHANMUMBAI MUNICIPAL CORPORATION**

Office of the Chief Engineer (Bridges), Ground Floor, Engineering Hub Building,  
Dr. E. Moses Road, Worli. Mumbai-400018  
E-mail:-[che.gmlr@mcgm.gov.in](mailto:che.gmlr@mcgm.gov.in)

---

**UNDERTAKING**

**Sub:-** Diversion of 19.43 ha. of Reserved Forest Land in favour of Municipal Corporation of Greater Mumbai for Construction of Tunnel underneath Sanjay Gandhi National Park along Goregaon Mulund Link Road by Municipal Corporation of Greater Mumbai in Mumbai Suburban District in the State of Maharashtra.

We, BRIHANMUMBAI MUNICIPAL CORPORATION, submit an undertaking that Additional amount of the Net Present Value (NPV) of the diverted forest land if any, becoming due after revision of the same by the Hon'ble Supreme Court of India in future, will be paid by the Brihanmumbai Municipal Corporation for "The Proposed Design construction and operation of twin tunnel from Film City Goregaon to Khindipada (Amar nagar) Mulund including Box Tunnel (Cut & Cover) at Film City, Electrical, Mechanical and associated works."

**Authorized Signatory**

  
(Vivek D. Kalyankar)

Chief Engineer (Bridges)

**For, BRIHANMUMBAI MUNICIPAL CORPORATION**



Annexure -7

**BRIHANMUMBAI MUNICIPAL CORPORATION**

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E-mail:-[che.gmlr@mcgm.gov.in](mailto:che.gmlr@mcgm.gov.in)

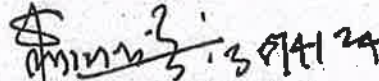
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**UNDERTAKING**

**Sub:-** Diversion of 19.43 ha. of Reserved Forest Land in favour of Municipal Corporation of Greater Mumbai for Construction of Tunnel underneath Sanjay Gandhi National Park along Goregaon Mulund Link Road by Municipal Corporation of Greater Mumbai in Mumbai Suburban District in the State of Maharashtra.

We, BRIHANMUMBAI MUNICIPAL CORPORATION, submit an undertaking that all the funds received from the Brihanmumbai Municipal Corporation under the project will be transferred/ deposited to CAMPA fund only through e-portal (<https://parivesh.nic.in/>) for "The Proposed Design construction and operation of twin tunnel from Film City Goregaon to Khindipada (Amar nagar) Mulund including Box Tunnel (Cut & Cover) at Film City, Electrical, Mechanical and associated works."

**Authorized Signatory**

  
(Vivek D. Kalyankar)

**Chief Engineer (Bridges)**

**For, BRIHANMUMBAI MUNICIPAL CORPORATION**





**BRIHANMUMBAI MUNICIPAL CORPORATION**

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Dr. E. Moses Road, Worli. Mumbai-400018  
E-mail:-[che.gmlr@mcgm.gov.in](mailto:che.gmlr@mcgm.gov.in)

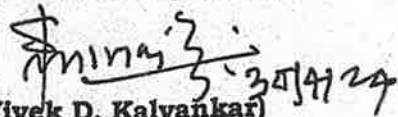
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**UNDERTAKING**

**Sub:-** Diversion of 19.43 ha. of Reserved Forest Land in favour of Municipal Corporation of Greater Mumbai for Construction of Tunnel underneath Sanjay Gandhi National Park along Goregaon Mulund Link Road by Municipal Corporation of Greater Mumbai in Mumbai Suburban District in the State of Maharashtra.

We, BRIHANMUMBAI MUNICIPAL CORPORATION, submit an undertaking that we will fulfill the compliance of all conditions recommended by the SC NBWL shall be implemented at the cost of the project vide letter dated 03.05.2019 in the diversion of 19.43 Ha. Reserved Forest Land, for "The Proposed Design construction and operation of twin tunnel from Film City Goregaon to Khindipada (Amar nagar) Mulund including Box Tunnel (Cut & Cover) at Film City, Electrical, Mechanical and associated works."

Authorized Signatory



(Vivek D. Kalyankar)  
Chief Engineer (Bridges)

For, BRIHANMUMBAI MUNICIPAL CORPORATION





Annexure - 9

**BRIHANMUMBAI MUNICIPAL CORPORATION**

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E-mail:-[che.gmlr@mcgm.gov.in](mailto:che.gmlr@mcgm.gov.in)

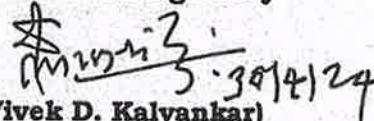
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**UNDERTAKING**

**Sub:-** Diversion of 19.43 ha. of Reserved Forest Land in favour of Municipal Corporation of Greater Mumbai for Construction of Tunnel underneath Sanjay Gandhi National Park along Goregaon Mulund Link Road by Municipal Corporation of Greater Mumbai in Mumbai Suburban District in the State of Maharashtra.

We, BRIHANMUMBAI MUNICIPAL CORPORATION, submit an undertaking that we will continue the cumulative /holistic study on effects of construction of tunnels on the ecological, geological, seismological and biodiversity aspects of study on SGNP including carrying capacity and implement the outcome measures as advised by the state government; for "The Proposed Design construction and operation of twin tunnel from Film City Goregaon to Khindipada (Amar nagar) Mulund including Box Tunnel (Cut & Cover) at Film City, Electrical, Mechanical and associated works."

Authorized Signatory



(Vivek D. Kalyankar)

Chief Engineer (Bridges)

**For, BRIHANMUMBAI MUNICIPAL CORPORATION**



**BRIHANMUMBAI MUNICIPAL CORPORATION**

Office of the Chief Engineer (Bridges), Ground Floor, Engineering Hub Building,  
Dr. E. Moses Road, Worli, Mumbai-400018  
E-mail:-[che.gmlr@mcgm.gov.in](mailto:che.gmlr@mcgm.gov.in)

---

**UNDERTAKING**

**Sub:-** Diversion of 19.43 ha. of Reserved Forest Land in favour of Municipal Corporation of Greater Mumbai for Construction of Tunnel underneath Sanjay Gandhi National Park along Goregaon Mulund Link Road by Municipal Corporation of Greater Mumbai in Mumbai Suburban District in the State of Maharashtra.

We, BRIHANMUMBAI MUNICIPAL CORPORATION, submit an undertaking that we will implement muck disposal plan and ensuring no muck disposal shall done in the forest areas to extant for "The Proposed Design construction and operation of twin tunnel from Film City Goregaon to Khindipada (Amar nagar) Mulund including Box Tunnel (Cut & Cover) at Film City, Electrical, Mechanical and associated works."

**Authorized Signatory**

  
(Vivek D. Kalyankar)

Chief Engineer (Bridges)

**For, BRIHANMUMBAI MUNICIPAL CORPORATION**





# J. KUMAR - NCC PRIVATE LIMITED

Phone: 022-67743555 \*CIN: U46639MH2023PTC412136\* Email Id: info@jkumarncc.com

Regd. Off: 2ND FLOOR, J. KUMAR HOUSE, CTS NO. 448, 448/1, 449, SUBHASH ROAD,  
VILE PARLE (EAST), MUMBAI 400 057, MAHARASHTRA, INDIA.



**NCC**  
NCC Limited

JKNCC/ BMC/ GMLR/ SITE/ 2024-25/ 330

Date: 21<sup>st</sup> July 2024

To,  
**The Chief Engineer (Bridges),**  
Brihanmumbai Municipal Corporation (BMC),  
Ground Floor, Engineering Hub Building Worli Naka,  
Worli, Mumbai 400 018.  
Email: [Che.gmlr@mcgm.gov.in](mailto:Che.gmlr@mcgm.gov.in)

**Project Name: -** Design, Construction and Operation of twin tunnel from Film City Goregoan to Khindipada (Amar Nagar) Mulund including Box Tunnel at Film City, Electrical, Mechanical and associated works.

**Subject: -** Submission of <sup>Revised</sup> Muck Disposal Plan for GMLR Project.

**Reference: -**

1. LOA No. Ch. Eng./7959/ Bridge dated 21.09.2023.
2. Revised LOA No. Ch.E./ 7959/ Bridges dated 19.10.2023.
3. Work Order No. Ch. E./ 10559/ Bridges dated 20.11.2023.
4. Ch. E./ 24/ 53/ GMLR dated 30.04.2024.
5. Ch. E./ 24/ 638/ GMLR dated 03.07.2024.
6. JKNCC / BMC / GMLR / SITE / 2024 - 25 / 330. dated 9<sup>th</sup> July 2024.

Dear Sir,

With reference to your letter cited above at Sr. No. 04 and 05, we hereby submit the "Muck Disposal Plan" for the construction of the proposed Twin Tunnel from Film City to Khindipada (Amar Nagar). The plan is attached as Annexure 1 for your review and approval.

Thanking you and assuring you of best services at all times.

Yours faithfully,  
For J. Kumar- NCC Pvt. Ltd.

  
(G. Shyam Kumar)  
Project Manager



**Encl:** 1. Annexure 1: Muck Disposal Plan. (Revised)

**CC:** 1. The Executive Engineer, GMLR Project, 5-B Bhandar, Bhandup Complex  
Store, Building, Dargah Road, Khindipada, Mulund West, Mumbai 400 082.



MUMBAI GMLR PROJECT, MUMBAI

Muck Disposal & Management Plan



**NCC**  
NCC Limited

# Muck Disposal & Management Plan

## GMLR PROJECT

Design, Construction and Operation of Twin Tunnel From Film City Goregaon to Khindipada (Amar Nagar), Mulund Including Box Tunnel (Cut & Cover) at Film City, Electrical, Mechanical and Associated Works

**Client: Brihanmumbai Municipal Corporation (BMC)**

**Consultant: M/s TUSPL**

### Prepared By



**building environment**  
INDIA PVT. LTD.

**Building Environment (India) Pvt. Ltd**  
Office No. 801,802,803, Greenscape Shakti,  
64 one, plot no. 12, Sector 15,  
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### Submitted By



**J. Kumar NCC Pvt.Ltd**  
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Parle (East), Mumbai 400057,  
Maharashtra, India  
Web - [www.jkumar.com](http://www.jkumar.com)

**Submitted On July, 2024**

### Document checking and revision record

Project Name	Design, Construction and Operation of Twin Tunnel From Film City Goregaon to Khindipada (Amar Nagar), Mulund Including Box Tunnel (Cut & Cover) at Film City, Electrical, Mechanical and Associated Works		
Doc No	BE/ASSIGNMENT/2024/012/000	Date of Issue	08/07/2024
Doc Title	Muck Disposal & Management Plan		

# J. KUMAR - NCC PRIVATE LIMITED

Phone: 022-67743555 \*CIN: U46639MH2023PTC412136\* Email Id: info@jkumarncc.com

Regd. Off: 2ND FLOOR, J. KUMAR HOUSE, CTS NO. 448, 448/1, 449, SUBHASH ROAD,  
VILE PARLE (EAST), MUMBAI 400 057, MAHARASHTRA, INDIA.



**NCC**  
NCC Limited

JKNCC/ BMC/ GMLR/ SITE/ 2024-25/366

Date- 30<sup>th</sup> August 2024

To,  
**The Chief Engineer (Bridges),**  
MCGM Building, Worli Hub,  
Worli, Mumbai 400 018.  
Email: [che.gmlr@mcgm.gov.in](mailto:che.gmlr@mcgm.gov.in)

**Project Name :-** Design, Construction, and Operation of twin tunnel from Film City Goregaon to Khindipada (Amar Nagar) Mulund including Box Tunnel at Film City, Electrical, Mechanical, and associated works.

**Subject: -** Continual Execution Round O'clock Using TBM/Tunneling at GMLR Project

**Reference: -**  
1. LOA No. Ch. Eng./7959/Bridge dated 21.09.2023.  
2. Work Order No. Ch.E./10559/Bridges dated 20.11.2023.  
3. JKNCC/ BMC/ GMLR/ SITE/ 2024-25/ 330 dated 22.07.2024

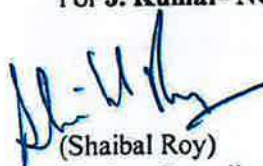
Dear Sir,

This has in reference to the subject matter, the contractor herewith submitting the requisite document to enable the authority to deliberate the continual execution round o'clock in time Using TBM/Tunneling Operation at GMLR Project facility.

The Contractor requesting the Hon'ble BMC Engineer/ Representative to kindly review the same and offer us the formal go-ahead in the form of working permission at the earliest.

Thanking you and assuring you of our best services at all times, the Contractor remains.

Yours faithfully,  
For J. Kumar- NCC Pvt. Ltd.

  
(Shaibal Roy)

(Project Co-ordinator)  
Authorised Signatory



**Encl:-**  
1. Detailed SOP on Tunnelling Operation & Requirements using TBM.  
2. Muck Quantity and Disposal Justification  
3. Disposal Land Detailed 7/12 Extracts

**CC:**  
1. **The Executive Engineer (GMLR),** 5-B Bhandar, Bhandup Complex Store Building, Dargah Road, Khindipada, Mulund West, Mumbai 400 082.



**NCC**  
NCC Limited



## **GOREGOAN MULUND LINK ROAD (GMLR)**

**DESIGN AND CONSTRUCTION OF TWIN TUNNEL FROM FILM CITY  
GOREGAON TO KHINDIPADA (AMAR NAGAR) MULUND INCLUDING  
BOX TUNNEL AT FILM CITY, ELECTRICAL, MECHANICAL AND  
ASSOCIATED WORKS**

**Muck Disposal Plan (R0)**

**CONTRACTOR: J. KUMAR-NCC PVT. LTD.**





**NCC**  
NCC Limited

CLIENT	GENERAL CONSULTANT	CONTRACTOR
BMC	TUSPL	J. KUMAR-NCC PVT. LTD.

**MUCK DISPOSAL PLAN**

Submission					
	Name	Designation	Role	Signature	Date
Checker	Mr. Al Iqbal	Sr. Env. Engg.	Environment		09.07.24
Reviewer	Mr. Sumit Kumar Khatua	Construction Manager	Civil		09.07.24
Approver	Mr. G Shyam Kumar	Project Manager			09/07/24



**MUMBAI GMLR PROJECT****Muck Disposal Plan**

Rev No	Date of Issue	Description	Prepared by		Reviewed & Approved By	
00	28.06.2024	Draft Muck Disposal & Management Plan	Amrita Kulabhi		Vivek Kulkarni	
01	08.07.2024	Muck Disposal & Management Plan	Amrita Kulabhi		Vivek Kulkarni	

**Design, Construction and Operation of Twin Tunnel From Film City Goregaon to Khindipada (Amar Nagar), Mulund Including Box Tunnel (Cut & Cover) at Film City, Electrical, Mechanical and Associated Works**

**Title : Muck Disposal Plan**

**Muck Disposal & Management Plan:**

**Revision No : R1**

**Date :08.07.2024**

EMPLOYER/ENGINEER Review status						
NONO		NONOC		NOO		NR
Notice of No Objection		Notice of No Objection with Comments		Notice of Objection		Not Reviewed



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## 1 Introduction

The Goregaon-Mulund Link Road (GMLR) project is a significant infrastructure development in Mumbai, aiming to provide a direct link between the western suburbs (Gurgaon) and the eastern suburbs (Mulund) as shown in Figure 1 1.

This ambitious project is designed to alleviate traffic congestion, reduce travel time, and improve connectivity across the city.



**Figure 1-1: GMLR Proposed Tunnel Alignment**

### **A. GMLR Proposed Temporary Muck Disposal Area**

Constructing tunnels necessitates the removal of debris or soil materials (muck) from the tunnel interior to an open area outside the tunnel nearby for temporary storage and transfers for smooth operations and continual transportation in regular workdays. The designated land area marked 18,500 m<sup>2</sup> for temporary storage of muck and transfers maintaining a safe distance from the main tunnel area.

**Figure 1-2: GMLR- Plan & Profile at Portal Area of Initial Stage  
Include temporary muck storage at designated area nearby**



## 2 Description of Project & Scope of Work

### 2.1 Description of Project

The GMLR spans approximately 12.7 kilometres, connecting Goregaon on the Western Express Highway (WEH) to Mulund on the Eastern Express Highway (EEH) which includes two twin tunnels passing through the Sanjay Gandhi National Park (SGNP), minimizing environmental impact while providing a direct route. To reduce the need for land acquisition, several sections of the GMLR will be elevated. Also to facilitate smooth traffic flow and connectivity to other major roads Multiple interchanges are planned.

### 2.2 Proposed Tunnel Details

The details of the proposed tunnel is as under:

- ▶ Length of Twin tunnel underneath SGNP – 4.7 km
- ▶ Difference between two Tunnel – 15 m
- ▶ Tunnel Diameter – 14.2 m
- ▶ Tunnel depth varying from 20mt to 220 mt
- ▶ To avoid invasive activity, Tunnelling methodology is proposed by use of TBM only without any shaft inside SGNP
- ▶ Ventilation inside tunnel proposed by way of artificial means
- ▶ Area of Tunnel underneath SGNP - 25.38 Ha approx.
- ▶ Advance Technology Tunnel Boring Machine of 14.2 m approx. will be used for Tunnelling work below Sanjay Gandhi National Park. RCC Segmental Lining will be used for Surface permanent lining of Tunnel. RCC road pavement will be constructed by Paver machine and all advance technology for surveillance, firefighting equipment's, ventilation system, Substations at both ends and Control room to monitor the traffic will be installed in Tunnel.

Details of the proposed tunnels along with length and construction packages are provided in Table 2-1. The typical cross sections of tunnel is given in Figure 2-1.

**Table 2-1: Details of the Proposed Tunnel**

Tunnel Type	LHS		RHs		Length
	Start Point	End Point	Start Point	End Point	
TBM Twin Tunnel	4+140	8+825	4+140	8+825	4700x2 = 9400

### 2.3 Muck Disposal quantity

Constructing tunnels necessitates the removal of debris or soil materials (muck) from the tunnel interior to an open area outside the tunnel nearby for temporary storage and transfers for smooth operations and continual transportation in regular workdays. The total estimated volumes of muck to be generated from the proposed tunnels are detailed in Table 2-2.

**Table 2-2: Muck Generation Quantity**

Sr.No.	Excavation Details	Quantity of Muck Generated in Cum	
		Up Line	Down Line
1.	Excavation Volume for Bored Tunnel considering 25% swelling factor	9,82,520	9,82,520
	<b>Total</b>	<b>19,65,040</b>	



### 2.3.1 Tunnel production details unreal time/ per day wise in relation to muck generations

During tunnel operations, the generation of muck is a critical factor that must be managed effectively to ensure smooth progress and minimize environmental impact. The following details the expected muck generation based on the number of rings installed per day by the Tunnel Boring Machines (TBMs).

Daily Muck Generation	
<b>TBM Operation Overview</b>	<ul style="list-style-type: none"> <li>• <b>Number of TBMs:</b> 2</li> <li>• <b>Average Rings per Day per TBM:</b> 6</li> <li>• <b>Maximum Rings per Day per TBM:</b> 10</li> <li>• <b>Volume of Muck per Ring:</b> This is calculated based on the tunnel diameter and ring thickness.</li> </ul>
<b>Average Production</b>	<ul style="list-style-type: none"> <li>• <b>Rings per Day per TBM:</b> 6</li> <li>• <b>Total Rings per Day for Both TBMs:</b> 6 rings/TBM * 2 TBMs = 12 rings/day</li> <li>• <b>Total Muck Volume per Day:</b> 12 rings/day * 400 cubic meters/ring = 4800 cubic meters/day</li> </ul>
<b>Maximum Production</b>	<ul style="list-style-type: none"> <li>• <b>Rings per Day per TBM:</b> 10</li> <li>• <b>Total Rings per Day for Both TBMs:</b> 10 rings/TBM * 2 TBMs = 20 rings/day</li> <li>• <b>Total Muck Volume per Day:</b> 20 rings/day * 400 cubic meters/ring = 8000 cubic meters/day</li> </ul>

### 2.3.2 Handling and stacking process

The management of muck during tunnel operations, generating an average of 4800 cubic meters per day and up to a maximum of 8000 cubic meters per day, involves a comprehensive process of extraction, conveyance, sorting, transportation, and disposal. By maintaining efficient handling and stacking processes, the project can minimize environmental impact and ensure smooth operational progress. Continuous monitoring and maintenance are crucial to sustain this process and address any challenges promptly.

<b>Extraction and Initial Handling</b>	<b>TBM Operation</b>	Continuous excavation with muck transported to the rear of the TBM.
		Muck collected in the muck chamber.
	<b>Primary Conveyor System</b>	Belt conveyors move muck from the TBM to the tunnel portal. Enclosed transfer points minimize dust and spillage.
<b>Surface Handling</b>	<b>Muck Receiving Station</b>	Hoppers receive muck from the tunnel. Feeder conveyors regulate muck flow to sorting facilities
	<b>Screening and Sorting Facility</b>	Vibrating screens separate muck into size fractions.
		Grizzly screens and crushers handle oversized materials.



<b>Secondary Conveyance and Storage</b>	<b>Secondary Conveyor System</b>	Transports sorted muck to temporary storage or transport vehicles
	<b>Temporary Storage</b>	Stockpiles managed and compacted to reduce volume and improve stability. Containment barriers and drainage systems prevent environmental contamination.
<b>Daily Operations Summary</b>	<b>2 Shift / Day (each 12 Hrs.)</b>	<b>Excavation:</b> TBM operations start, continuous excavation.
		<b>Conveyance:</b> Muck transported via primary conveyors to the surface.
		<b>Handling:</b> Initial sorting and temporary storage
		<b>Inspection:</b> Regular inspection of conveyors, transfer points, and receiving stations.
		<b>Transport:</b> Vehicles loaded and dispatched to disposal or recycling sites.
		<b>Monitoring:</b> Environmental monitoring (dust, noise, and leachate).
		<b>Maintenance:</b> Routine maintenance of TBM and conveyor systems.
		<b>Final Sorting:</b> Additional screening and processing of accumulated muck.
		<b>End-of-Day Stacking:</b> Final disposal or stacking of muck for the day.

### 2.3.3 Schematic Design and Operational Handling of Muck Receivables during Tunneling

A detailed overview of the schematic design and operational handling of muck receivables during tunnelling is given in Figure 2-5.

<b>Tunnelling Overview</b>	<b>Operation</b>	<b>Tunnel Boring Machine (TBM)</b>	<b>Function:</b> Excavates tunnel material (muck) and transports it to the surface.
			<b>Components:</b> Cutter head, screw conveyor, and muck chamber.
		<b>Muck Chamber</b>	<b>Function:</b>





<b>Muck Extraction and Conveyance</b>		Collects excavated material from the TBM.
		<b>Operation:</b> Muck is transported from the cutter head to the muck chamber using a screw conveyor or slurry pipeline.
	<b>Primary Conveyor System</b>	<b>Function:</b> Moves muck from the muck chamber to the tunnel portal. <b>Components:</b> Belt conveyor or continuous conveyor system.
	<b>Transfer Points</b>	<b>Function:</b> Intermediate transfer of muck between conveyor belts. <b>Design:</b> Enclosed transfer points to minimize dust and spillage.
<b>Muck Handling at Tunnel Portal</b>	<b>Muck Receiving Station</b>	<b>Function:</b> Initial reception and temporary storage of muck at the surface. <b>Components:</b> Hoppers, feeders, and conveyors.
	<b>Screening and Sorting Facility</b>	<b>Function:</b> Separates muck into different size fractions and removes oversized materials. <b>Components:</b> Vibrating screens, grizzly screens, and crushers
<b>Muck Transport and Disposal</b>	<b>Secondary Conveyor System</b>	<b>Function:</b> Transfers sorted muck to transportation vehicles or further processing facilities. <b>Components:</b> Covered belt conveyors, radial stackers
	<b>Transportation Vehicles</b>	<b>Function:</b> Transport muck to disposal sites or recycling facilities. <b>Types:</b> Dump trucks, rail cars, or slurry pipelines for liquid muck.





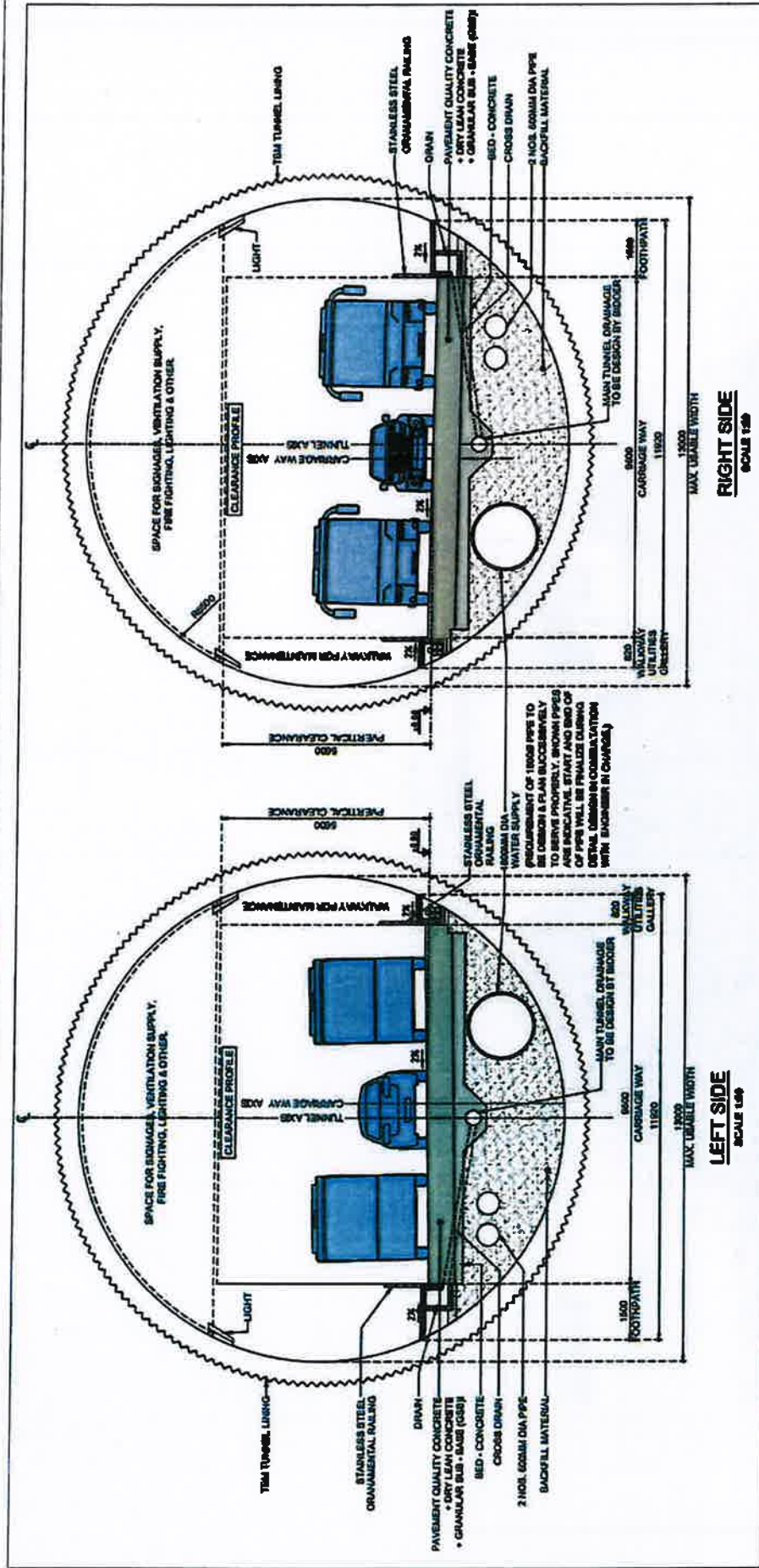
## **2.4 Scope of Work**

As per BMC letter No Ch,E/23/2091/GMLR dated 05 Mar 2024, the scope of work will be as follows:  
Environmental compliance report of Muck disposal plan

### **1. Muck Disposal Plan.**



## Muck Disposal Plan



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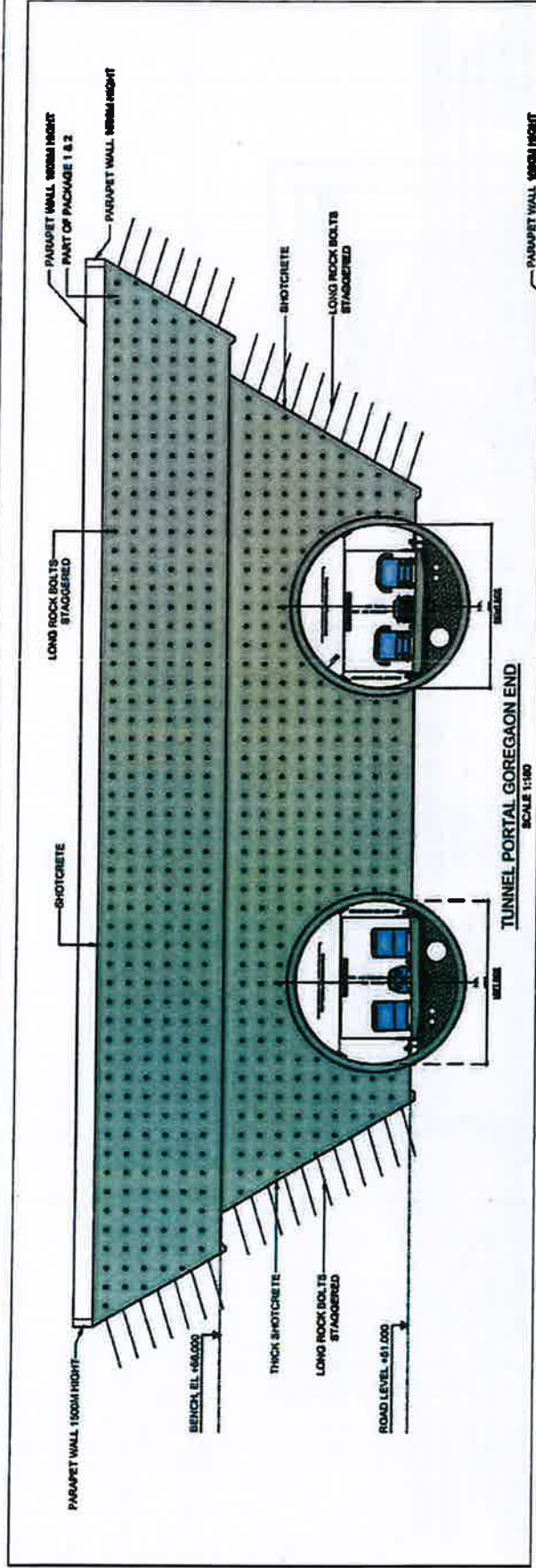
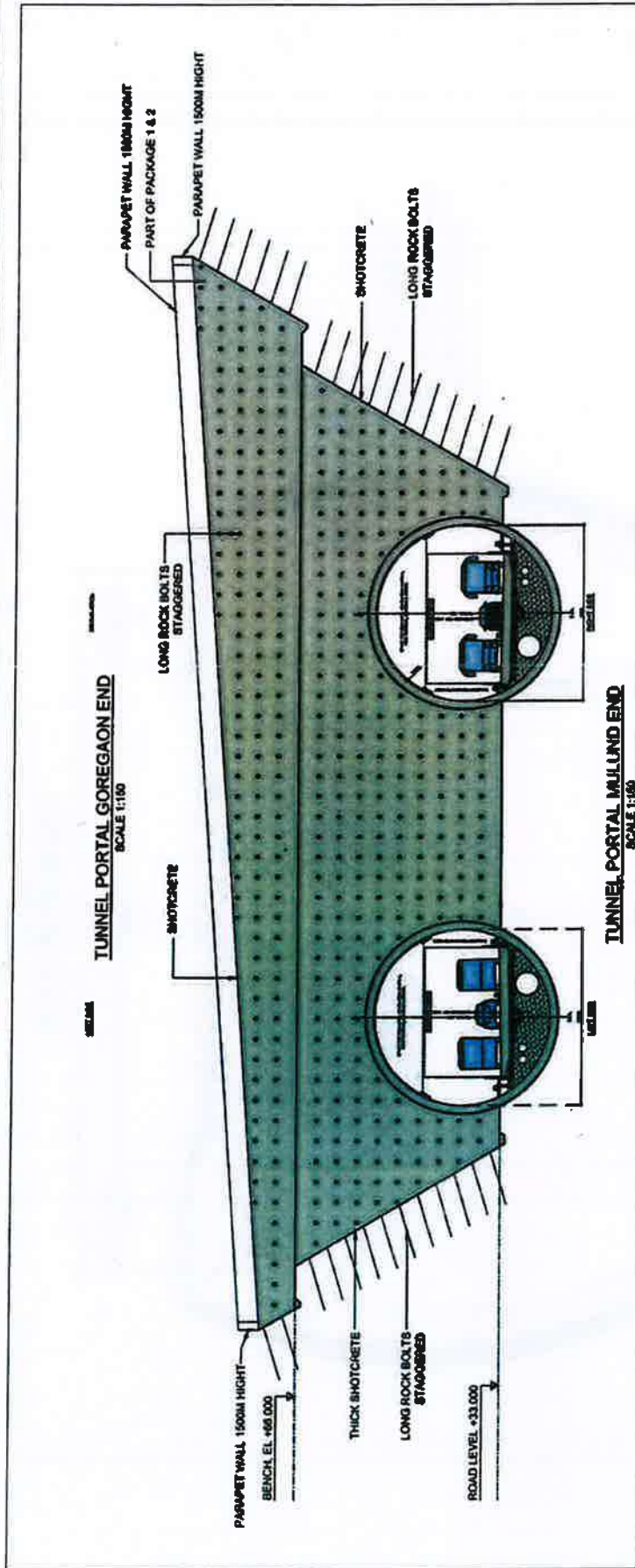


Figure 2-2: Tunnel Cross Section-Tunnel Portal Goregaon End



### **Muck Disposal Plan**







## MUMBAI GMLR PROJECT

### Muck Disposal Plan

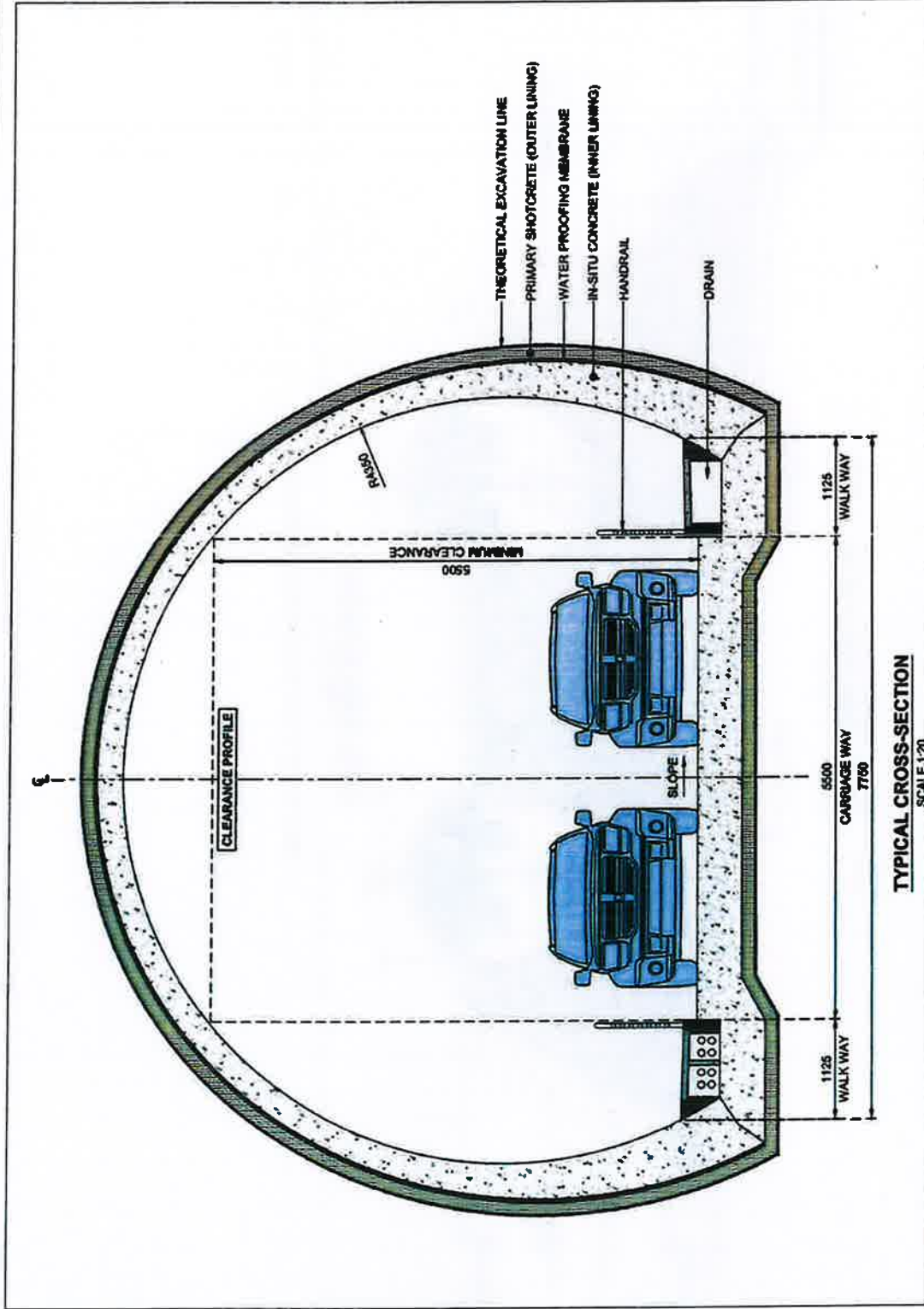
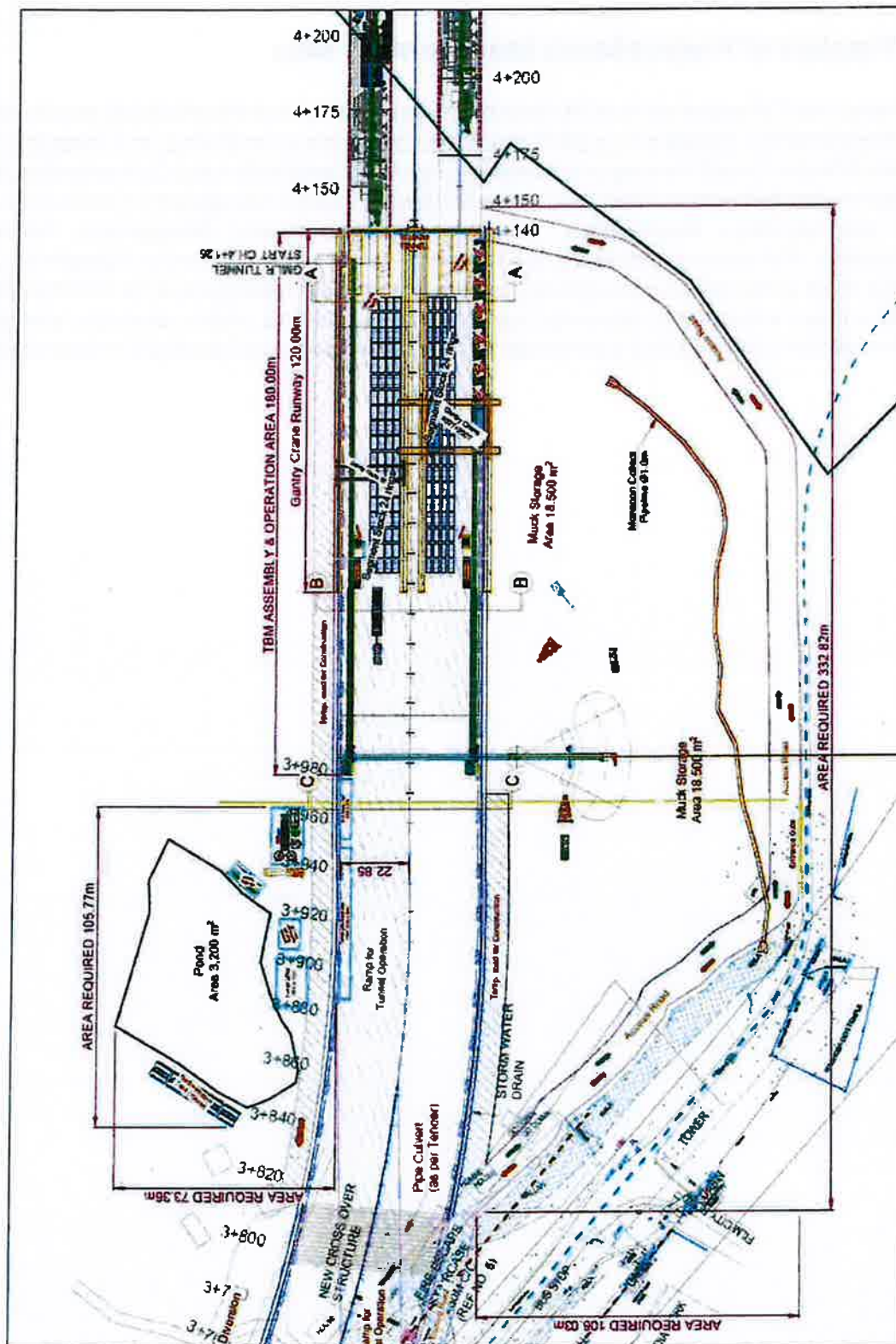


Figure 2-4: Tunnel Cross Section-Vehicular Cross Passage



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### **3 Purpose of Project Muck Management Plan**

The Project Muck Management Plan (PMP) for the Goregaon-Mulund Link Road (GMLR) project serves as a comprehensive framework to guide the project's execution, monitoring, and completion. It includes Effective Project Planning and Scheduling, Facilitate Coordination and Communication, Risk Management and Mitigation, Quality Assurance and Control, Budget Management, Compliance with Legal and Regulatory Requirements, Stakeholder Engagement and Management, Resource Management, Performance Monitoring and Reporting, Environmental and Social Management. By defining these purposes and corresponding activities, the Project Management Plan for the GMLR project ensures a structured, systematic, and efficient approach to project execution, aiming to achieve successful project delivery while meeting all predefined goals and stakeholder expectations.



## 4 Responsibility and Authority

To ensure that the GMLR project is managed effectively with specialized oversight in key areas such as overall project management, tunnel construction, occupational health and safety, and environmental protection, different roles, responsibilities, and authorities are defined and given in Table 4-1. This structured approach promotes successful project execution while adhering to regulatory requirements and addressing stakeholder concerns.

**Table 4-1: Details of different roles, responsibilities, and authorities**

<b>Roles</b>	<b>Responsibilities</b>	<b>Authority</b>
<b>Project Manager</b>	<p><b>Overall Project Leadership:</b> Directing the entire GMLR project, ensuring it meets all strategic goals and objectives.</p> <p><b>Project Planning and Execution:</b> Develop and implementation of comprehensive project plans, including timelines, budgets, and resource allocations.</p> <p><b>Stakeholder Communication:</b> Acting as the main liaison with stakeholders, including government bodies, contractors, and the community.</p> <p><b>Risk Management:</b> To ensure smooth execution, identifying, evaluating, and mitigating project risks.</p> <p><b>Quality Assurance:</b> Ensuring all deliverables adhere to predefined quality standards and project specifications.</p> <p><b>Resource Allocation:</b> Overseeing the efficient distribution and use of resources throughout the project lifecycle.</p> <p><b>Performance Monitoring:</b> Tracking progress against key performance indicators (KPIs) and project milestones.</p> <p><b>Regulatory Compliance:</b> Ensuring the project adheres to all legal, regulatory, and environmental requirements.</p>	<p>Decision-Making</p> <p>Resource Mobilization</p> <p>Contract Management</p> <p>Stakeholder Engagement</p>



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Roles	Responsibilities	Authority
<b>Head / Environment /Manager/Sr.Engineer</b>	<p><b>Environmental Planning:</b> Develop and implement the Environmental Management Plan (EMP) for the project.</p> <p><b>Impact Assessment:</b> Conduct environmental impact assessments and ensure mitigation measures are in place Wherever applicable. If desired/required.</p> <p><b>Regulatory Compliance:</b> Ensure compliance with all environmental regulations and obtain necessary environmental permits.</p> <p><b>Monitoring:</b> Monitor environmental parameters and conduct regular environmental audits.</p> <p><b>Sustainability Initiatives:</b> Promote sustainable practices and minimize the environmental footprint of the project.</p> <p><b>Stakeholder Engagement:</b> Engage with stakeholders, including local communities, regarding environmental concerns and mitigation efforts.</p> <p><b>Reporting:</b> Prepare and submit environmental reports to project management and regulatory authorities</p>	<p>Environmental Decisions</p> <p>Mitigation Measures</p> <p>Compliance Actions</p> <p>Stakeholder Liaison</p>
<b>Occupational Health &amp; Safety (OH&amp;S) Manager</b>	<p><b>OH&amp;S Policy Implementation:</b> Developing and enforcing occupational health and safety policies and procedures for the project.</p> <p><b>Safety Training:</b> Conducting safety training and awareness programs for all project personnel.</p> <p><b>Risk Assessment:</b></p>	<p>Safety Enforcement</p> <p>Training Mandates</p> <p>Incident Response</p>





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Roles	Responsibilities	Authority
	<p>Identifying and assessing health and safety risks associated with project activities.</p> <p><b>Incident Management:</b> Managing and investigating safety incidents or accidents and implement corrective actions.</p> <p><b>Regulatory Compliance:</b> Ensuring compliance with all relevant OH&amp;S regulations and standards.</p> <p><b>Monitoring and Auditing:</b> Conducting regular safety inspections and audits to ensure adherence to safety protocols.</p> <p><b>Reporting:</b> Preparing and submitting OH&amp;S reports to project management and regulatory bodies.</p>	

## 5 Site Selection Criteria for Muck Disposal Site and Implementation Strategies in General

### 5.1 Site Selection

The muck disposal process should be managed in an environmentally responsible manner, minimizing adverse impacts and promoting sustainability. Site selection criteria for muck disposal involve various factors to ensure safe and environmentally responsible waste management. Here are key considerations:

The M/s J. KUMARNCC Pvt Limited has proposed disposal site located in vasai-virar municipal jurisdictions at a distance of 40-45Kms approximately in Mumbai, Maharashtra.

GMLR Project

Goregaon-Mulund Link

Vasai-Virar

#### ► Regulatory Compliance

Local, state, and national regulations governing muck disposal activities, including environmental standards and permitting requirements to be adhered. The regulations and guidelines issued by the Ministry of Environment, Forest and Climate Change (MoEF&CC) and other relevant authorities, including the Solid Waste Management Rules to be followed.

If the muck is to be sold, then it is construed as extraction of minor minerals and the process of extraction of minor minerals is to be followed and royalty to be paid to District Collector. However, if





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it is to be dumped as designated site may be construed as debris which should be dumped on Govt. Land as per instruction of project proponent.

To ensure environmental protection and compliance with legal standards, several rules and regulations are applicable for muck disposal in Maharashtra. The key rules and regulations are given in Table 5-1.

**Table 5-1: Regulatory Compliance**

Rules / Regulation / Guidelines	Objectives	Relevance
Environmental Protection Act, 1986	Provides a framework for the protection and improvement of the environment	Governs the disposal of all types of waste, including muck, to prevent environmental pollution.
Construction and Demolition Waste Management Rules, 2016	Specifically addresses the management and disposal of construction and demolition (C&D) waste.	Outlines responsibilities of waste generators, local authorities, and waste management operators in handling C&D waste, including muck.
Maharashtra Pollution Control Board (MPCB) Guidelines	Provides state-specific guidelines and standards for waste management	Offers detailed procedures and compliance measures for muck disposal, ensuring adherence to environmental norms
Solid Waste Management Rules, 2016	Provides a comprehensive framework for the management of solid waste in urban and rural areas	Applicable if muck is categorized under solid waste, detailing segregation, collection, transportation, and disposal processes
The Water (Prevention and Control of Pollution) Act, 1974	Prevents and controls water pollution	Ensures that muck disposal does not contaminate water bodies, requiring specific disposal methods to protect water quality
The Air (Prevention and Control of Pollution) Act, 1981	Prevents and controls air pollution	Regulates activities that may cause air pollution, including dust and particulate matter from muck disposal
The Noise Pollution (Regulation and Control) Rules, 2000	Prevents and controls noise pollution	Regulate and control noise-producing and generating sources with the objective of maintaining the ambient air quality standards in respect of noise
Hazardous and Other Wastes (Management and Transboundary Movement) Rules, 2016	Manages hazardous waste, including its generation, handling, storage, and disposal	Applicable if the muck contains hazardous materials, ensuring safe and regulated disposal practices



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Rules / Regulation / Guidelines	Objectives	Relevance
National Green Tribunal (NGT) Orders	Enforces environmental laws and ensures compliance	NGT rulings and directives related to waste management and environmental protection in Maharashtra must be followed
Municipal Solid Waste Management Bye-Laws	Local municipal regulations for waste management	Municipality-specific bye-laws may have additional requirements for muck disposal, such as designated disposal sites and methods
Forest (Conservation) Act, 1980	Regulates the use of forest land for non-forest purposes	Ensures muck disposal does not impact forest areas, requiring specific permissions if forest land is involved
Coastal Regulation Zone (CRZ) Notification, 2019	Protects coastal areas and regulates activities within CRZs	Applicable for muck disposal near coastal regions, ensuring compliance with CRZ guidelines to prevent coastal degradation
Wildlife Protection Act, 1972	Protecting wildlife and habitats within the Sanjay Gandhi National Park	Applicable for muck generation & disposal near forest areas

#### ► Proximity to Source

To minimize the transportation costs and reduces the environmental footprint associated with muck transport preference to be given to the sites close to the construction area. Muck dumping should generally be located downwind of habitation.

#### ► Buffer Zones

Additionally, adequate buffer zones shall be maintained if desired between disposal sites and sensitive environmental features such as water bodies, wetlands, and residential areas to prevent contamination and minimize community impact, if require.

However, The M/s J. KUMARNCC Pvt Limited has proposed disposal site located in vasai-virar under municipal jurisdictions at a safe distance as specified by clearance and environmental regulations from rivers, lakes, and other water bodies to prevent contamination and protect aquatic ecosystems.

These proposed land is about 2,40,440.95 m<sup>2</sup> typically range from several hundred meters to a few kilometres upto 4,66,175.00 m<sup>2</sup>. The land approved for disposal purposes as Environmental clearance obtained successfully and other local or requisites requirement adhered by the land owner/Contractor. (Pls find the attached for details in Annexure-1)

#### ► Accessibility and Infrastructure

The location should be easily accessible with well-developed infrastructure for transportation, such as roads or waterways, facilitate efficient muck disposal operations.



► **Terrain and Soil Conditions**

To ensure stability, minimizing erosion risks, and preventing leachate infiltration into groundwater, sites with suitable terrain and soil characteristics to be chosen. Sites with low-permeability soils is preferred to reduce the risk of leachate infiltration into groundwater. Sites with natural slopes directing runoff away from water bodies should be preferred.

► **Hydrological Considerations**

Sites prone to flooding or located in floodplains should be avoided to prevent muck displacement and contamination of water bodies during heavy rainfall events. Surface Water Flow Patterns and Groundwater Flow and Levels to be analysed to prevent contamination migration towards water bodies.

► **Environmental Impact**

Potential impacts to be assessed on local ecosystems, habitats, and wildlife populations to minimize disturbance and preserve biodiversity.

► **Soil Stability**

The site should have stable soil conditions to prevent erosion and landslides that could result from the accumulation of muck. To track environmental parameters, ensuring compliance with regulations, and address any unforeseen impacts promptly monitoring protocols to be established.

► **Vegetation Impact**

The selection of the site should minimize the impact on existing vegetation, particularly avoiding areas with endangered or protected plant species.

► **Wildlife Protection**

The site should not interfere with wildlife habitats, especially those of endangered or protected species, to avoid disrupting local biodiversity.

► **Air Quality Control**

Measures should be in place to control dust and particulate matter released during muck disposal to ensure compliance with air quality standards and minimize health risks to nearby communities.

► **Noise Management**

The site should be located in an area where noise generated from muck transportation and disposal will have minimal impact on residential zones and wildlife.

► **Accessibility**



The disposal site should be easily accessible from the construction site to reduce fuel consumption and emissions associated with transportation.

► **Land Use Compliance**

The chosen site must comply with local land use regulations and zoning laws, ensuring that muck disposal activities are permitted.

► **Rehabilitation Plan**

There should be a plan for the eventual rehabilitation of the disposal site to restore it to its natural state or convert it to a beneficial use after the completion of disposal activities as applicable.

► **Monitoring and Management**

Continuous monitoring should be conducted to assess the environmental impact of the disposal activities and to implement corrective measures if necessary.

## 5.2 Implementation Strategies

Implementing a muck disposal site effectively requires careful planning and adherence to environmental, safety, and regulatory guidelines.

► **Design and Construction**

- **Site Layout:** The site layout to be planned to maximize space utilization and effectively control runoff. This should entails designing access roads, constructing containment berms, and implementing efficient drainage systems.
- **Containment Systems:** To inhibit leachate from polluting the soil and groundwater liners, berms, and additional containment infrastructure to be employed.
- **Erosion Control:** Erosion mitigation techniques like silt fences, sedimentation basins, and vegetation to stabilize the site effectively to be implemented.

► **Operational Strategies**

- **Sorting and Segregation:** Muck to be classified according to its composition to efficiently manage it, separating hazardous substances from non-hazardous materials.
- **Compaction:** Muck to be compacted consistently to decrease muck volume and enhance stability over time
- **Dust and Noise Control:** Use water sprays, barriers, and other techniques to be used to minimize dust and noise pollution.

► **Environmental Monitoring and Management**

- **Water Quality Monitoring:** Routine tests to be conducted of adjacent water bodies if any, to detect any presence of contaminants.
- **Air Quality Monitoring:** Dust and other air pollutants to be monitored to ensure they are within permissible limits.
- **Vegetation and Wildlife Monitoring:** Keep track of the local flora and fauna to detect any adverse impacts.

► **Rehabilitation and Closure**





- **Revegetation:** If there's no designated purpose for the disposed land, plantation to be done for native species on-site to stabilize it.
- **Landform Reshaping:** The terrain to be recontoured to harmonize with the surrounding landscape and mitigate erosion hazards.
- **Post-Closure Monitoring:** Environmental parameters to be monitored to confirm the site's stability and avert potential ongoing risks
- ▶ **Technological Integration**
  - **GIS and Remote Sensing:** For site selection, monitoring, and overall management, Geographic Information Systems (GIS) and remote sensing techniques to be employed.
  - **Automation:** To oversee and regulate environmental conditions, facilitating real-time data collection and analysis, automations to be implemented.
- ▶ **Safety Protocols**
  - **Training:** Regular staff training to be provided on safety protocols, environmental stewardship, and emergency response procedures.
  - **Emergency Plans:** Emergency response protocols for incidents like spills, fires, and severe weather occurrences to be established.
  - A comprehensive environmental risk assessment to be carried out to identify the potential impact of the disposal site on nearby water bodies. Before muck is dumped at identified locations and construction of protection measures, it should be ensured that the substratum has enough shear strength to sustain the load without creating a slip hazard. The gabion/protection walls should preferably be constructed along the contours for better stability and above the highest flood level at a safe distance.
- ▶ **Cost Management**
  - **Budgeting:** A detailed comprehensive budget encompassing all stages, from site selection through to post-closure monitoring to be prepared.
  - **Cost Efficiency:** Seek ways to optimize processes and reduce costs without compromising safety or environmental standards.





## 6 Environmental Aspects, Impact & Mitigation

The disposal of muck generated from construction activities for the Mumbai Goregaon-Mulund Link Road (GMLR) Project involves several environmental aspects that need to be carefully managed to minimize adverse impacts. Since, the location is not yet finalized general key environmental aspects associated with muck disposal activities are given in Table 6-1.

**Table 6-1: General Environmental Aspects Impact**

	Aspects	Probable Impacts	Mitigation Measures
<b>Land Degradation</b>	<b>Soil Erosion:</b> Potential erosion of topsoil at disposal sites.	Reduced soil quality and increased susceptibility to erosion.	To prevent soil erosion following measures to be taken: <ul style="list-style-type: none"> <li>• Use of silt fences;</li> <li>• Vegetation buffer;</li> <li>• Proper grading ;</li> </ul> Details of implementation of management measures are given in Section 7.
	<b>Land Contamination:</b> Risk of contamination due to pollutants in the muck.	Potential introduction of hazardous substances into the soil.	
	<b>Loss of Vegetation:</b> Clearing of vegetation for muck disposal, leading to habitat loss	Loss of native flora and fauna, negatively affecting local biodiversity.	
<b>Water Pollution</b>	<b>Surface Water Contamination:</b> Runoff from muck disposal sites can carry sediments and pollutants into nearby water bodies.	Increased turbidity and pollution in rivers, lakes, and streams. Degradation of water quality, affecting aquatic ecosystems and human health.	To prevent water pollution following measures to be taken: <ul style="list-style-type: none"> <li>• Constructing of sedimentation ponds and containment barriers;</li> <li>• Ensuring proper treatment of runoff water before it enters natural water bodies;</li> </ul> Details of implementation of management measures are given in Section 7.
	<b>Groundwater Contamination:</b> Leaching of contaminants from muck into groundwater sources.	Potential contamination of drinking water sources.	
<b>Air Pollution</b>	<b>Dust Emissions:</b>		



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	Aspects	Probable Impacts	Mitigation Measures
	<p>Dust generated during muck transportation and disposal.</p> <p><b>Emission of Particulate Matter:</b> Fine particles released into the air from disposal activities.</p>	<p>Respiratory issues and other health problems for nearby residents.</p> <p>Deterioration of local air quality.</p> <p>Visibility reduction and potential impact on the local climate.</p>	<p>To prevent air pollution following measures to be taken:</p> <ul style="list-style-type: none"> <li>• Use of water sprays and dust suppressants;</li> <li>• Covering trucks during transportation to minimize dust emissions;</li> </ul> <p>Details of implementation of management measures are given in Section 7.</p>
<b>Noise Pollution</b>	<p><b>Operational Noise:</b> Noise from machinery and vehicles involved in muck disposal.</p> <p><b>Transportation Noise:</b> Increased noise levels from the movement of trucks and other heavy vehicles.</p>	<p>Disturbance to local communities and wildlife.</p> <p>Potential hearing damage and stress-related health issues.</p> <p>Disruption of natural habitats and animal behaviour.</p>	<p>To prevent air pollution following measures to be taken:</p> <ul style="list-style-type: none"> <li>• Implementing noise barriers;</li> <li>• using quieter machineries;</li> <li>• Schedule operations to minimize noise impact during sensitive times;</li> </ul> <p>Details of implementation of management measures are given in Section 7.</p>
<b>Biodiversity Loss</b>	<b>Habitat Destruction:</b> Removal of natural habitats to accommodate disposal sites.	Loss of biodiversity and disruption of local ecosystems.	<ul style="list-style-type: none"> <li>• muck disposal shall not be done in the forest area;</li> </ul>



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	Aspects	Probable Impacts	Mitigation Measures
	<b>Wildlife Displacement:</b> Disturbance and displacement of wildlife due to disposal activities and noise.	Threats to endangered species and reduction in wildlife populations.  Long-term ecological imbalances.	<ul style="list-style-type: none"> <li>• No Labour camps/ office etc shall be built in the forest area;</li> <li>• No tree felling shall be carried out in SGNP for the project;</li> <li>• No additional or new path will be constructed inside the forest area</li> <li>• for the transportation of construction materials for execution of the project work;</li> <li>• Multi-level and multipurpose plantations on the muck dumping sites and roadside strips is to be proposed</li> </ul> Details of implementation of management measures are given in Section 7.
Visual Impact	<b>Landscape Alteration:</b> Changes in the natural landscape due to muck disposal.	Negative impact on local scenery and natural beauty.	To prevent visual impacts following measures to be taken: <ul style="list-style-type: none"> <li>• Landscaping and rehabilitating disposal sites to blend with the natural surroundings;</li> <li>• Implementing aesthetic measures to</li> </ul>
	<b>Aesthetic Degradation:</b> Visual intrusion from large piles of muck and disturbed land.	Potential decrease in property values and tourism appeal.  Community dissatisfaction and potential social conflicts.	



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	Aspects	Probable Impacts	Mitigation Measures
			minimize visual impact;
<b>Socio-Economic Impact</b>	<b>Community Displacement:</b> Potential relocation of local populations to accommodate disposal sites.	Social unrest and economic displacement.	To prevent socio-economic impacts following measures to be taken:  <ul style="list-style-type: none"> <li>• Engaging with local communities to address concerns and compensate for any disruptions;</li> <li>• Ensuring alternative livelihood opportunities for affected populations;</li> </ul>
	<b>Impact on Livelihoods:</b> Disruption of agricultural land, fishing areas, and other local livelihoods.	Loss of income and employment opportunities for local residents.  Increased pressure on social services and infrastructure.	
<b>Climate Change</b>	<b>Carbon Emissions:</b> Emissions from machinery and vehicles used in muck disposal.	Contribution to global warming and climate change.	To prevent impacts on climatic change following measures to be taken  <ul style="list-style-type: none"> <li>• Use energy-efficient machinery and vehicles;</li> <li>• Implement practices to reduce carbon emissions and enhance carbon sequestration;</li> </ul>
	<b>Greenhouse Gas Release:</b> Release of greenhouse gases from decomposing organic matter in the muck.	Increased carbon footprint of the construction project.  Long-term environmental consequences.	



## 7 Implementation of Management plan at Muck Disposal Site

The muck disposal process should be managed by implementing different engineering and biological techniques.

### 7.1 Implementation of Engineering Measures at Muck Disposal Site

The muck disposal process should be managed effectively, minimizing environmental impact and ensuring site stability and safety by implementing following engineering measures:

#### 7.1.1 Site Selection and Preparation

**Geotechnical Surveys:** Conducting detailed surveys to ensure the selected site has stable soil conditions and is suitable for muck disposal. Geotechnical surveys should involve:

- ▶ **Soil Stability Assessment** to determine its load-bearing capacity will help to identify any potential risks of soil instability, such as landslides, subsidence, or soil liquefaction, which could compromise the safety and integrity of the muck disposal site.
- ▶ **Groundwater Evaluation** to assess of the groundwater conditions at the site. Understanding the depth, flow, and quality of groundwater is crucial for determining the potential risks of contamination and ensuring that the muck disposal activities do not adversely impact groundwater resources.
- ▶ **Site Suitability Verification** to verify whether the site meets the necessary criteria for muck disposal. Factors such as soil type, compaction characteristics, permeability, and drainage capacity are evaluated to confirm that the site should be effectively accommodate the muck without causing environmental harm or posing risks to nearby communities.
- ▶ **Risk Mitigation Planning** utilizing the results from geotechnical surveys, develop and to implement appropriate risk mitigation strategies to address identified hazards or challenges. These strategies may involve slope stabilization, groundwater management, or soil reinforcement techniques to enhance the stability and safety of the disposal site

**Site Clearing:** Clearing the site of existing vegetation while minimizing environmental impact. Preserve topsoil for later use in site rehabilitation.

#### 7.1.2 Erosion and Sediment Control

Erosion and sediment control is a critical component of a muck disposal plan to prevent environmental degradation and ensure site stability. The various aspects of erosion and sediment control should cover a thorough assessment of the site to identify areas prone to erosion and sediment transport including analysing soil type, slope, vegetation cover, and hydrological conditions.

- ▶ **Slope Stabilization:** Implementing measures such as terracing, retaining walls, and slope benches to stabilize slopes and prevent landslides. A detailed erosion control plan to be prepared outlining strategies and practices to prevent soil erosion and manage sediment. The plan should be tailored to the specific conditions and challenges of the disposal site.





- ▶ **Erosion Control:** Based on site conditions, installation of silt fences, sediment basins, erosion Control Blankets, Contour Trenching and Terracing, Riprap and Gabions etc. to capture and control sediment runoff, preventing it from entering water bodies.
  - **Silt Fences:** Silt fences to be installed along the perimeter of the disposal site and in areas where water runoff is likely to carry sediment. These barriers help trap sediment and prevent it from leaving the site.
  - **Sedimentation Basins:** To capture and settle out sediment from runoff water before it is discharged from the site sedimentation basins to be constructed. These basins allow particles to settle and prevent sediment from contaminating nearby water bodies.
  - **Erosion Control Blankets:** Erosion control blankets or mats to be used on slopes and disturbed areas to stabilize the soil surface, reduce erosion, and promote vegetation growth. These blankets are particularly effective on steep slopes and exposed soil.
  - **Contour Trenching and Terracing:** Contour trenching and terracing on slopes may be introduced to slow down water flow, reduce erosion, and promote water infiltration. These techniques help break up long slopes into shorter, more manageable segments.
  - **Riprap and Gabions:** Riprap (large stones) and gabions (rock-filled wire baskets) to be used to protect soil from erosion in areas with concentrated water flow, such as drainage channels and outfall points. These structures dissipate the energy of flowing water and reduce erosion.
- ▶ **Sediment Control Measures:** To protect the environment, prevent soil loss, and maintain site stability sediment control measures to be implemented based on site condition.
  - **Check Dams:** To slow down water flow and capture sediment in drainage channels check dams to be installed. These small, temporary dams should be made from rocks, sandbags, or other materials.
  - **Filter Strips:** To trap sediment and filter runoff vegetated filter strips of dense, hardy vegetation that can withstand runoff conditions should be provided along the edges of the disposal site and watercourses in any.
  - **Vegetative Buffers:** To intercept and filter sediment-laden runoff before it reaches water bodies vegetative buffers of Native grasses, shrubs, and trees should be established around the disposal site.

### 7.1.3 Dust Mitigation

Effective dust mitigation is crucial at a muck disposal site to safeguard air quality, reduce health risks, and comply with environmental regulations. Here are detailed strategies for controlling dust at a muck disposal site.

- ▶ **Site Assessment and Planning**
  - **Dust Source Identification:** Primary sources of dust generation to be identified, such as excavation activities, vehicle movements, material handling, and wind erosion of exposed muck piles.
  - **Dust Control Plan:** Based on site-specific conditions, including soil type, weather patterns, and operational activities, a detailed dust control plan outlining specific measures to mitigate dust emissions to be developed.
- ▶ **Watering**



- **Water Sprays:** To dampen surfaces and suppress dust at on roads, work areas, and muck piles, water spraying should be done at frequent interval to keep the dust-generating surfaces moist but not so much that it creates runoff or mud.
- **Sprinkler Systems:** To provide continuous or periodic watering of large areas, such as muck piles and haul roads fixed or portable sprinkler systems should be installed.
- **Water Trucks:** To ensure that all dust-prone areas are adequately treated, water trucks routes should be scheduled.
- **Frequency of water spraying:** The frequency should be adjusted based on site-specific conditions.
  - i. More frequent spraying during dry, windy conditions or periods of high activity, and less frequent spraying during wetter conditions or low activity periods.
  - ii. During Hot and Dry Conditions, the frequency should be increased to several times a day, typically every 2-4 hours.
  - iii. In moderate conditions once or twice a day may be sufficient.
  - iv. In high activity area, during peak activity water should be sprayed every 1-2 hours to control dust from vehicle movements and material handling.
  - v. In low activity areas water may be sprayed in lesser frequency, such as 2-3 times per day.
  - vi. Fine, Dry Materials may require more frequent spraying to prevent dust whereas, Moist or Heavy Materials less frequent spraying may be needed.
  - vii. Dust levels should be monitored continuously and spraying frequency to be adjusted as needed.
  - viii. Real-time air quality monitoring should be utilized to guide these adjustments while adhering to specific guidelines or requirements set by local environmental regulations or site-specific permits.
- ▶ **Chemical Stabilizers**
  - **Dust Suppressants:** To bind soil particles and reduce dust generation chemical dust suppressants, such as calcium chloride, magnesium chloride, or lignin sulfonate should be applied. These suppressants are particularly effective on haul roads and other high-traffic areas.
  - **Soil Binders:** Soil binders should be used to stabilize the surface of muck piles and other exposed areas. These products form a crust that reduces wind erosion and dust emissions.
- ▶ **Wind Barriers**
  - **Fencing:** Wind fences or barriers to be erected around the perimeter of the disposal site and in strategic locations to reduce wind speed and capture airborne dust. Fences can be made from various materials, including mesh, fabric, or natural barriers like hedges.
  - **Windbreaks:** To act as windbreaks, reducing wind velocity and the potential for dust dispersion rows of trees or shrubs should be planted.
- ▶ **Material Handling and Storage**
  - **Covered Storage:** Finer materials, such as silt and clay, should be stored in covered or enclosed areas to prevent windblown dust.
  - **Minimize Drop Heights:** Material drop heights to be reduced during loading and unloading operations to minimize dust generation. Chutes or enclosed conveyors should be used where possible.
  - **Moisture Content Management:** An optimal moisture content should be maintained in muck piles to minimize dust without causing excess runoff or leachate.



► **Traffic Management**

- **Speed Limits:** Strict speed limits should be imposed on site to reduce the amount of dust generated by vehicle movements. Lower speeds significantly decrease dust emissions.
- **Paved Roads:** High-traffic areas, such as main access roads, should be paved to reduce dust from vehicle movement. Regularly sweep and maintain paved surfaces to keep them clean.
- **Wheel Wash Stations:** Wheel wash stations should be installed at site exits to remove dust and mud from vehicles before they leave the site. This helps prevent tracking dust onto public roads.

#### 7.1.4 Noise Mitigation

To noise levels, minimize disturbances to the surrounding community, and ensure a safer and more comfortable working environment for site personnel and comply with environmental regulations, comprehensive strategies to be implemented.

► **Site Planning and Layout**

- **Buffer Zones:** A buffer zone should be established around the site using natural barriers such as trees or constructed noise barriers like walls or berms. These buffers help absorb and deflect noise away from sensitive areas.
- **Equipment Placement:** Noisy activities and noisy equipment to be positioned as far away from residential areas, schools, hospitals, and other noise-sensitive locations as possible.

► **Equipment Management**

- **Modern Equipment:** Modern, quieter equipment designed with noise reduction features should be used. Generally electric or hybrid machinery are quieter than traditional diesel-powered equipment.
- **Mufflers and Silencers:** Mufflers, silencers, and other noise control devices should be installed on engines and exhaust systems to reduce noise emissions.

► **Operational Practices**

- **Work Scheduling:** Noisy operations should be avoided or limited during early mornings, late evenings, and night times. Noisy activities should be scheduled during daytime hours when they are less likely to disturb nearby residents.
- **Rotating Tasks:** To avoid prolonged noise exposure in a single location, tasks should be rotated among different areas. This will help to distribute the noise impact and reduces the likelihood of complaints from any one area.
- **Noise Monitoring:** A noise monitoring program should be implemented to measure and record noise levels at various points around the site to identify problem areas and evaluate the effectiveness of noise mitigation measures.
- **Compliance:** All noise levels should comply with local, regional, and national noise regulations. Necessary permits should be obtained and best practices to be followed for noise control as stipulated by regulatory bodies.
- **Enclosures:** Noisy equipment should be enclosed in soundproof or acoustically treated structures to reduce noise emissions.
- **Vibration Isolation:** Vibration isolation pads or mounts for equipment should be used to reduce the transmission of noise through the ground and structures.

► **Noise Barriers**



- **Temporary Barriers:** Temporary noise barriers like portable walls, screens, or acoustic panels should be erected around particularly noisy activities or equipment.
- **Permanent Structures:** For long-term projects, permanent noise barriers such as earth berms, noise walls, or dense vegetation screens around the site perimeter should be considered.

#### 7.1.5 Drainage Management

For effective runoff control, erosion prevention and protection of water quality, a safe and environmentally responsible operation an effective drainage management is essential.

- ▶ **Site Assessment and Planning**
  - **Topographic Survey:** A detailed topographic survey should be conducted to understand the site's natural drainage patterns, slopes, and water flow directions. This information is crucial for designing an effective drainage system.
  - **Hydrological Study:** A hydrological study should also be done to assess the volume and rate of surface runoff and groundwater flow. This helps in designing drainage structures that should handle expected water volumes.
- ▶ **Drainage System Design**
  - **Surface Drainage:** A surface drainage system should be designed including swales, ditches, and channels to direct runoff away from muck disposal areas considering the peak storm water flows.
  - **Subsurface Drainage:** Subsurface drainage systems, such as perforated pipes and French drains, should be installed to manage groundwater and prevent it from rising into the muck disposal area.
  - **Diversion Channels:** Diversion channels should be created to redirect surface water away from the disposal site, resulting reduction in runoff quantity that comes into contact with the muck.
  - **Grading and Contouring:** Shape and contour the site to promote proper drainage and discourage water pooling site should be contoured. This may include sculpting the terrain to direct water flow towards designated drainage channels.
- ▶ **Erosion and Sediment Control**
  - Erosion and sediment control: this should be done as per section 7.1.5.
- ▶ **Storm water Management**

**Retention Ponds:** To capture and retain storm water, facilitating sediment settling and decreasing both the volume and speed of runoff retention ponds to be constructed.

- Additionally, these ponds offer supplementary storage capability during periods of intense rainfall.
  - **Detention Basins:** To temporarily retain storm water and discharge it at a regulated pace, and mitigating downstream flooding and erosion detention basins may be created.
  - **Rain Gardens and Bioswales:** To improve infiltration, filter contaminants, and naturally control runoff. These landscaped zones are specifically crafted to absorb and purify storm water, rain gardens and bioswales may be constructed.
- ▶ **Maintenance and Monitoring**
    - All drainage infrastructure, such as ditches, channels, pipes, and basins, to verify their proper operation should be inspected at regular interval to check for indications of erosion, obstructions, or any impairments.





- A maintenance program should be established to uphold the functionality of drainage systems. This encompasses tasks like clearing sediment traps, fixing any structural damage, and replanting vegetation as necessary.
- Implement a water quality monitoring program
- To check for contaminants in runoff and in nearby water bodies if any a water quality monitoring program to be implemented. This will also help to ensure that the drainage system effectively protects water quality.
- All necessary permits and approvals for drainage management should be obtained from relevant regulatory authorities to ensure that the drainage system complies with local, regional, and national regulations.
- Drainage management activities, including design, construction, inspections, and maintenance should be documented for regulatory reporting and compliance verification.
- ▶ **Emergency Preparedness**
  - **Flood Management Plan:** The JKNCC Pvt.Ltd. has revealed flood management strategy in EMP-Environmental Management Plan already to manage potential flooding occurrences. This plan shall prescribed encompass actions aimed at safeguarding both the muck disposal site and the surrounding areas from floodwaters as applicable.
  - **Emergency Response:** The JKNCC Pvt.Ltd. has submitted EMP-Environmental Management Plan discussing about Emergency response protocols for drainage-related incidents, like blockages, overflows, or breaches in containment structures shall be established ensuring that the personnel receive adequate training to respond promptly and efficiently as applicable.

#### 7.1.6 Muck Stabilization

Muck stabilization aimed at improving the physical properties of muck to enhance its stability and usability. It reduces the moisture content, increase the bearing capacity, and minimize the environmental impact of muck. A thorough analysis of the muck helps to determine its composition, moisture content, and geotechnical properties and selecting the appropriate stabilization method. Based on muck analysis, characteristics, following stabilization process should be selected:

- ▶ **Mechanical Stabilization:** Compaction, blending, Layering
- ▶ **Chemical Stabilization:** Lime Stabilization, Cement Stabilization, Fly ash or Slag
- ▶ **Biological Stabilization:** Vegetative Stabilization, Bioengineering techniques
- ▶ **Geo-synthetic Stabilization:** Geotextiles and Geo-grids
- ▶ **Thermal Stabilization:** Thermal Treatment

To ensure proper management of leachate to prevent contamination of soil and groundwater liners and drainage systems should be used to capture and treat leachate effectively.

All necessary permits and approvals should be obtained from relevant regulatory authorities before commencing stabilization activities ensuring compliance with local, regional, and national regulations.

#### 7.1.7 Control of Spillages

Effective control of spillages during muck disposal is crucial for minimizing environmental impacts and ensuring the safety. The key measures to control spillages are given in **Table 7-1**.

**Table 7-1: Spillage Control Measures**

Preventive Measures	Proper Loading Practices	Secured Loads:
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		<p>It is to be ensured that muck and classified materials are properly secured in trucks and containers to prevent shifting during transit.</p> <p><b>Even Distribution:</b> The load to be distributed evenly to maintain vehicle balance and risk of spillage will be reduced.</p>
	Vehicle Maintenance	<p><b>Regular Inspections:</b> Regular inspections and maintenance of vehicles to be conducted to ensure they are in good working condition.</p> <p><b>Sealed Containers:</b> Sealed containers or tarps to be used to cover loads and prevent spillage during transportation.</p>
	Route Planning	<p><b>Safe Routes:</b> Transportation routes to be planned avoiding steep inclines, sharp turns, and areas with poor road conditions to reduce the risk of spillage.</p> <p><b>Traffic Coordination:</b> To manage traffic and reduce the likelihood of accidents leading to spillages local authorities to be intimated.</p>
Operational Control	Speed Limits	<p><b>Adherence to Limits:</b> Strict speed limits to be imposed for vehicles transporting muck and classified materials to prevent spills due to sudden stops or sharp turns.</p> <p><b>Monitoring:</b> GPS trackers to be used to monitor vehicle speeds and ensuring compliance with speed limits.</p>
	Training and Awareness	<p><b>Driver Training:</b> Comprehensive training to be provided for drivers on safe loading, transportation, and unloading practices.</p> <p><b>Spillage Response Training:</b> Drivers and personnel to be trained on how to respond quickly and effectively to spillage incidents.</p>
	Emergency Kits	<b>Spill Kits:</b>



		<p>All transportation vehicles to be equipped with spill kits containing absorbent materials, containment booms, and other necessary tools.</p> <p><b>Personal Protective Equipment (PPE):</b> It is to be ensured that all personnel have access to appropriate PPE to safely handle spillages.</p>
<b>Containment Measures</b>	<b>Designated Spill Response Teams</b>	<p><b>Response Teams:</b> Designated spill response teams to be established and trained to handle spillage incidents promptly.</p> <p><b>Rapid Deployment:</b> It is to be ensured that response teams should be quickly deployed to the site of a spillage.</p>
	<b>Containment Barriers</b>	<p><b>Temporary Barriers:</b> Temporary containment barriers such as sandbags, silt fences, or berms to be used to prevent spilled materials from spreading.</p> <p><b>Permanent Barriers:</b> Where appropriate, permanent barriers to be installed along transportation routes to contain potential spillages.</p>
	<b>Secondary Containment</b>	<p><b>Secondary Containers:</b> Use secondary containment systems such as drip trays and catchment basins at loading and unloading sites to capture any accidental spills.</p>
<b>Response and Clean-up Procedures</b>	<b>Immediate Response</b>	<p><b>Stop Operations:</b> Transportation operations to be halted immediately in the event of a spillage to prevent further spillage.</p> <p><b>Isolate Area:</b> The affected area to be isolated to prevent unauthorized access and contain the spillage</p>
	<b>Spillage Clean-up</b>	<p><b>Absorbent Materials:</b> Absorbent materials from spill kits to be used to soak up the spilled muck or classified materials.</p>
		<p><b>Removal and Disposal:</b></p>



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		The absorbed material and contaminated soil to be collected and removed for proper disposal according to environmental regulations.
	<b>Decontamination</b>	<p><b>Site Clean-up:</b> The spillage site to be thoroughly cleaned and decontaminated to prevent environmental contamination.</p> <p><b>Equipment Clean-up:</b> All equipment and vehicles involved in the spillage to be cleaned and inspected for any residual contaminants.</p>
<b>Monitoring and Reporting</b>	<b>Incident Documentation</b>	<p><b>Detailed Records:</b> All spillage incidents, including the cause, response actions, and clean-up efforts to be documented.</p> <p><b>Reporting:</b> Spillage incidents to be reported to relevant regulatory authorities as required.</p>
	<b>Environmental Monitoring</b>	<p><b>Impact Assessment:</b> Environmental impact assessments to be conducted following spillage incidents to determine the extent of contamination.</p> <p><b>Ongoing Monitoring:</b> To ensure successful remediation and prevent future incidents ongoing monitoring of affected areas to be implemented.</p>
	<b>Continuous Improvement</b>	<p><b>Review Procedures:</b> Spillage control procedures to be regularly reviewed and updated based on incident reports and lessons learned.</p> <p><b>Feedback Loop:</b> A feedback loop to be established with transportation teams to identify potential improvements in spillage prevention and response.</p>



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Mechanical Stabilization of Muck Disposal	Compaction	Blending	Layering
	Equipment: Utilize heavy machinery such as rollers, vibratory compactors, and tampers.  Process: Compact the muck to reduce void spaces, increase density, and improve load-bearing capacity.  Benefits: Enhances soil strength and reduces settlement over time	Materials: Mix muck with granular materials like sand, gravel, or crushed stone.  Process: Blend these materials thoroughly to improve the structural properties of the muck.  Benefits: Reduces moisture content and enhances stability and strength.	Technique: Place muck in thin layers and compact each layer before adding the next.  Process: This method ensures uniform compaction and reduces the risk of uneven settlement.  Benefits: Increases the overall stability and structural integrity of the disposal site
Chemical Stabilization	Lime Stabilization	Cement Stabilization	Fly ash or Slag
	Process: Add lime (calcium oxide or calcium hydroxide) to the muck.  Reaction: Lime reacts with clay particles, causing flocculation, which reduces plasticity and increases strength.	Process: Mix Portland cement into the muck.  Reaction: Cement binds with the muck to form a solid, cohesive mass.	Process: Incorporate fly ash or slag, which are industrial by-products, into the muck.  Reaction: These materials react with water and other soil components to form a stable, solid mass.





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Biological Stabilization	<p><b>Benefits:</b> Reduces moisture content, improves load-bearing capacity, and enhances soil strength</p>	<p><b>Benefits:</b> Significantly enhances strength, durability, and resistance to water and weathering.</p>	<p><b>Benefits:</b> Improves properties, environmental impact, and utilizes industrial waste</p>	
	<p><b>Vegetative Stabilization</b></p> <p><b>Process:</b> Plant vegetation on the muck disposal site.</p>	<p><b>Bioengineering Techniques</b> <b>Biodegradable Geotextiles:</b> Use biodegradable geotextiles, such as coir mats, to cover the muck. These materials help stabilize the soil and promote plant growth.</p>	<p>—</p> <p>—</p>	<p>—</p> <p>—</p>
	<p><b>Selection:</b> Choose plant species with deep root systems that can thrive in the site's soil and climatic conditions.</p> <p><b>Benefits:</b> Roots help bind soil particles, reduce erosion, and improve soil structure.</p>	<p><b>Live Stakes and Fascines:</b> Implement live stakes (cuttings of woody plants) and fascines (bundles of plant material) to reinforce the muck and control erosion.</p> <p><b>Benefits:</b> Enhances stabilization through natural materials and processes, supporting long-term site rehabilitation.</p>		
Geo-synthetic Stabilization	<b>Geotextiles</b>	<b>Geogrids</b>	<b>Geomembranes</b>	<b>Geocells</b>
	<b>Function:</b>	<b>Function:</b>	<b>Function:</b>	<b>Function:</b>



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Thermal Stabilization	Used for separation, filtration, reinforcement, and protection.  Application: Place geotextiles over muck to prevent mixing with underlying soil, enhance load distribution, and improve drainage.  Benefits: Increases stability, prevents soil erosion, and enhances drainage.	Provide soil reinforcement and improve load-bearing capacity.  Application: Lay geogrids within the muck layers to interlock with soil particles and provide structural support.  Benefits: Enhances soil strength, reduces settlement, and improves overall stability.	Act as impermeable barriers to prevent leachate migration and protect groundwater.  Application: Install geomembranes as liners beneath muck to contain contaminants and control seepage.  Benefits: Prevents environmental contamination and enhances site safety.	Three-dimensional honeycomb-like structures that confine and stabilize soil.  Application: Fill geocells with muck or other fill materials to provide reinforcement and prevent lateral movement.  Benefits: Improves load distribution, reduces erosion, and enhances slope stability.
	Direct Heating  Process: Apply direct heat to muck using specialized equipment such as heaters or thermal blankets.	Thermal Desorption  Process: Heat muck to high temperatures in a controlled environment to volatilize and remove contaminants.	Solar Drying  Process: Spread muck in thin layers and expose it to sunlight to allow natural evaporation of moisture.	--
	Application: Suitable for small areas or specific hotspots where immediate moisture reduction is needed.	Application: Typically used for muck contaminated with volatile organic compounds (VOCs) or other hazardous materials.	Application: Suitable for large, open areas with ample sunlight and favorable weather conditions.	--
	Benefits:	Benefits:	Benefits:	--



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	Quickly reduces moisture content, enhances soil strength, and improves stability.	<b>Benefits:</b> Effectively removes contaminants, reduces moisture, and improves the overall quality of the muck.	Cost-effective, environmentally friendly, and reduces moisture content over time.
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**7.1.8 Leachate Management**

Leachate management is a crucial aspect of waste management, especially in landfill and construction projects, to prevent environmental contamination. Leachate is the liquid that percolates through waste materials, potentially carrying harmful pollutants and contaminants into the surrounding environment, including soil and water sources. Effective leachate management involves the collection, treatment, and disposal of leachate to mitigate its environmental impact. It's vital for preventing environmental contamination and ensuring the sustainability of waste disposal practices. By incorporating comprehensive collection, treatment, disposal, and monitoring systems, projects like the Mumbai Goregaon-Mulund Link Road (GMLR) should mitigate the potential impacts of leachate and protect surrounding ecosystems and communities. Key Components of Leachate Management is given below:

<b>Leachate Collection Systems</b>	<b>Liners</b>	Installing liners (such as clay or synthetic membranes) at the base of waste disposal sites prevents leachate from seeping into the soil and groundwater;	<b>Primary Liner:</b>  <b>Material</b> High-density polyethylene (HDPE) or compacted clay.  <b>Function</b> Provides a barrier to prevent leachate from seeping into the groundwater.  <b>Secondary Liner (if required):</b>  <b>Material</b> Another layer of HDPE or composite materials.  <b>Function</b> Acts as an additional safeguard against leaks.  <b>Leak Detection Layer:</b>  <b>Material</b> Geosynthetic clay liners (GCLs) or geo nets.  <b>Function</b> Detects any leaks that may pass through the primary liner.
	<b>Drainage Layers</b>	Drainage layers, often consisting of gravel or geotextiles, are placed	<b>Leachate Collection Layer:</b>  <b>Material</b>



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		<p>above the liners to facilitate the flow of leachate towards collection points.</p>	<p>A layer of sand or gravel with embedded perforated pipes.</p> <p><b>Thickness</b> Typically 30-50 cm.</p> <p><b>Function</b> Facilitates the movement of leachate towards the collection pipes.</p> <p><b>Drainage Pipes</b></p> <p><b>Material</b> PVC or HDPE pipes.</p> <p><b>Diameter</b> Generally between 100-300 mm, depending on the expected leachate volume.</p> <p><b>Function</b> Collects leachate from the drainage layer and transports it to the collection sump.</p>
	Collection Pipes	<p>Perforated pipes are installed within the drainage layers to collect and transport leachate to storage or treatment facilities</p>	<p><b>Leachate Collection Sumps:</b></p> <p><b>Structure</b> Concrete or lined pits at the lowest points of the landfill.</p> <p><b>Function</b> Temporary storage for collected leachate before it is pumped out for treatment.</p> <p><b>Pumps:</b></p> <p><b>Type</b> Submersible pumps or pneumatic ejector systems.</p> <p><b>Function</b> Transfers leachate from sumps to the treatment facility.</p>





<b>Leachate Treatment Systems</b>	<b>Physical Treatment</b>	<b>Filtration:</b> Removing suspended solids and particulate matter.	
		<b>Sedimentation:</b> Allowing solids to settle out of the liquid	
	<b>Chemical Treatment</b>	<b>Neutralization:</b> Adjusting pH levels using acids or bases.	
		<b>Oxidation:</b> Using chemicals like chlorine or ozone to oxidize and break down contaminants.	
	<b>Biological Treatment</b>	<b>Aerobic Treatment:</b> Using aerobic bacteria to break down organic contaminants in the presence of oxygen.	
		<b>Anaerobic Treatment:</b> Using anaerobic bacteria to treat leachate in the absence of oxygen, often in specialized bioreactors.	
<b>Leachate Disposal</b>	<b>Discharge to Sewage Treatment Plant</b>	Treated leachate will be discharged to municipal sewage treatment plants for further processing.	
	<b>On-Site Disposal</b>	Treated leachate may be safely disposed of on-site if it meets environmental standards.	
	<b>Recirculation</b>	Leachate to be be recirculated back into the waste mass to enhance waste degradation and reduce leachate volume.	
<b>Monitoring and Control</b>	<b>Regular Monitoring</b>	Continuous monitoring of leachate composition, volume,	



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		and flow rates ensures effective management and early detection of potential issues.	
	Leak Detection Systems	Installing leak detection systems within liners and collection systems to identify and address any breaches promptly.	
	Environmental Monitoring	Monitoring groundwater, surface water, and soil quality around the disposal site to detect any leachate-related contamination.	
<b>Preventive Measures</b>	Waste Minimization	Reducing the volume and toxicity of waste materials should be significantly lower leachate generation.	
	Cover Systems	Using interim and final cover systems (such as soil, clay, or geomembranes) to minimize water infiltration and reduce leachate production.	
	Storm water Management	Diverting storm water away from waste disposal areas to prevent additional leachate generation.	

#### Challenges in Leachate Management

##### ► Complex Composition

Leachate contains a complex mix of organic and inorganic contaminants, requiring multi-stage treatment processes.

##### ► Volume Fluctuations

Seasonal variations in precipitation and waste composition may lead to fluctuations in leachate volume, complicating treatment and disposal efforts.

##### ► Long-Term Management

Even after a landfill is closed, leachate generation may continue for many years, essential monitoring and management shall be done as per applicability.



## 7.2 Implementation of Biological Measures at Muck Disposal Site

Unless there is specific use of the disposed land, plantation to be done at site for stabilization. The muck disposal site should be transformed into a stable, ecologically balanced area that supports vegetation growth, reduces erosion, and enhances local biodiversity by integrating following biological measures:

### 7.2.1 Revegetation and Afforestation

- ▶ **Planting Native Species:** Introducing native trees, shrubs, and grasses to stabilize soil and promote ecological balance. Species that are well-adapted to local conditions and establish quickly should be selected.
- ▶ **Afforestation Programs:** Developing afforestation programs to create green cover over the muck disposal site, enhancing aesthetic value and providing habitat for wildlife.

Revegetation	Hydro seeding	Direct Seeding	Sodding	Planting Native Species
	<p><b>Process</b> Apply a slurry of seed, mulch, and water to the soil using specialized equipment.</p> <p><b>Benefits</b> Ensures uniform seed distribution, promotes rapid germination, and provides initial erosion control.</p>	<p><b>Process</b> Disperse seeds directly onto the soil surface or shallowly bury them.</p> <p><b>Benefits</b> Cost-effective and suitable for large areas, promotes natural vegetation growth</p>	<p><b>Process</b> Lay pre-grown sod (grass) over the soil surface.</p> <p><b>Benefits</b> Provides immediate ground cover, reduces erosion, and enhances aesthetics.</p>	<p><b>Process</b> Plant native grasses, shrubs, and ground covers.</p> <p><b>Benefits</b> Supports local biodiversity, requires less maintenance, and adapts well to local conditions.</p>
Afforestation	Tree Planting	Agroforestry	Mixed-Species Planting	--
	<p><b>Process:</b> Plant tree saplings in a planned layout to create a forested area.</p> <p><b>Benefits:</b> Stabilizes soil, improves air quality, and provides long-term</p>	<p><b>Process:</b> Combine tree planting with agricultural practices.</p> <p><b>Benefits:</b> Enhances soil health, supports sustainable land use, and provides economic benefits</p>	<p><b>Process:</b> Plant a variety of tree species to create a diverse forest ecosystem.</p> <p><b>Benefits:</b> Promotes biodiversity, reduces disease risk, and enhances</p>	--



	environmental benefits.	through production.	crop	ecosystem resilience.	
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### 7.2.2 Soil Improvement Techniques

- ▶ **Organic Amendments:** Incorporating organic materials like compost, manure, and biochar into the soil to improve its fertility, structure, and moisture retention.
- ▶ **Mulching:** Applying a layer of mulch over exposed soil to reduce erosion, retain moisture, and promote the growth of vegetation.

### 7.2.3 Erosion Control Plants

- ▶ **Fast-Growing Grasses:** Planting fast-growing grasses that have deep root systems to hold the soil in place and prevent erosion. Examples include vetiver grass and elephant grass.
- ▶ **Cover Crops:** Use of cover crops such as clover and legumes to provide ground cover, fix nitrogen, and enhance soil structure.

### 7.2.4 Bioengineering Structures

- ▶ **Live Fascines:** Installing live fascines (bundles of live branch cuttings) along slopes to stabilize the soil and reduce erosion. These structures root and grow, providing long-term stability.
- ▶ **Brush Layers:** Creating brush layers by placing live cuttings between layers of soil on slopes. This technique promotes root growth and soil stabilization.

### 7.2.5 Monitoring and Adaptive Management

- ▶ **Vegetation Surveys:** Conducting regular surveys to monitor the establishment and health of vegetation. Assess the effectiveness of biological measures and adapt management practices as needed.
- ▶ **Soil Health Monitoring:** Regular testing of soil for nutrient levels, pH, and organic matter content to ensure optimal growing conditions for plants.

### 7.2.6 Community Involvement and Education

- ▶ **Community Planting Events:** Engaging local communities in planting events to promote environmental stewardship and raise awareness about the benefits of biological measures.
- ▶ **Educational Programs:** Implementing educational programs to teach community members about sustainable land management practices and the importance of biodiversity.

## 7.3 Plantation Technique

Multi-level and multipurpose plantations on the muck dumping sites and roadside strips is proposed. This involves utilizing grasses, shrubs, and bushes in the understory, complemented by trees in the upper story. We will plant nursery-raised grass slips, seedlings of shrubs and bushes, and tree species in the area, combined with grass sowing in designated patches. Additionally, cuttings of bushes and shrubs may be planted to supplement the nursery-raised stock, reducing the need to raise nurseries for these species. At the planning stage, we will avoid an intimate mixture of species and strictly adhere to grouping grasses in rows and shrubs and bushes in separate rows.





Grass slip planting and grass seed sowing will be carried out in strips with a spacing of 0.10 meters by 0.10 meters within staggered patches measuring 1 meter by 0.5 meters and with a depth of 0.30 meters. Soil mixture will be utilized to fill the patches during the planting process.

Shrubs and bushes will be planted in elongated strips measuring 1.5 meters by 0.5 meters, with a depth of 0.45 meters. Soil mixture will be employed to fill these patches, and each patch will feature two rows of planting. For tree planting, pits of size 0.60 meters by 0.60 meters by 0.60 meters will be excavated. Soil mixture will be used to fill these pits. The excess soil/muck dug up during excavation will be piled on the downhill side of the pit to create a rainwater trap, allowing water to percolate into the pit.

The proposed soil mixture for the pits and patches will comprise soil sourced from nearby areas, blended manually with compost or vermicompost. The ratio for this mixture will be 5 parts compost/manure, 2 parts sand, and 1 part humus or vermicompost. This combination aims to provide essential nutrients for plants during the initial stages of growth while enhancing soil aeration, porosity, and permeability. Additionally, it will improve moisture retention, ensuring better availability of water for the plants.

The plantations established under biological measures will be maintained and supervised for a duration of three years. Maintenance activities will include watering the plantation during dry seasons, replacing any plants that have died, and repairing fencing and inspection paths within the area.

#### 7.4 Species for Plantation

Afforestation will be carried out using plant species with high ecological and economic value, chosen for their adaptability to local conditions. In collaboration with the local horticultural and forest departments appropriate native species will be identified and selected for the plantation. To ensure better survival rates and quicker establishment 1-2 years old sapling will be used. Additionally, grasses and herbaceous species will be planted in the spaces between trees and shrubs. This strategy aims to provide continuous support for retaining debris, reinforcing soil stability, and enhancing the infiltration capacity of the area.

Afforestation efforts will focus on using indigenous plant species that possess high ecological and economic value and are well-adapted to the local habitat. Depending on the required canopy cover, we will plant between 400 and 600 plants per hectare. This approach aims to enhance biodiversity, support local ecosystems, and ensure the sustainability of the plantation.

Table 7-2 offers suggested plant species for this purpose.

Table 7-2: List of Suggested Species

Plant	Family	Name of Species	Habitat
Adulsa	Acanthaceae	<i>Justicia adhatoda</i>	Shrub
Mahua	Sapotaceae	<i>Madhuca indica</i>	Tree
Bibba	Anacardiaceae	<i>Semecarpus anacardium</i>	Tree
Ashok	Annonaceae	<i>Polyalthia longifolia</i>	Tree





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Sweet indrajao	Apocyanaceae	<i>Wrightia tinctoria</i>	Tree
Kanher	Apocynaceae	<i>Nerium oleander</i>	Shrub
India almond	Combretaceae	<i>Terminalia catappa</i>	Tree
Karanj	Leguminosae	<i>Pongamia pinnata</i>	Tree
Siris tree	Fabaceae	<i>Albizia lebbek</i>	Tree
Bidi leaf tree	Fabaceae	<i>Bauhinia racemose</i>	Tree
Bahava	Fabaceae	<i>Cassia fistula</i>	Tree
Phanasi	Fabaceae	<i>Dalbergia paniculata</i>	Tree
Neem	Meliaceae	<i>Azadirachta indica</i>	Tree
Bael	Rutaceae	<i>Aegle marmelos</i>	Tree
Nirgudi	Verbenaceae	<i>Vitex negundo</i>	Shrub
Nandruk	Moraceae	<i>Ficus benjamina</i>	Small tree/ shrub
Kanher	Apocynaceae	<i>Nerium indicum</i>	Shrub
Kanchan	Leguminosae	<i>Bauhinia variegata</i>	Shrub

## 7.5 Environmental Monitoring Plan for Muck Disposal Site

The EMP outlines procedures for monitoring key environmental parameters, including water quality, air quality, soil contamination, and habitat disturbance, to ensure compliance with regulatory requirements and minimize adverse impacts on the surrounding environment. The EMP aligns with relevant environmental regulations and permits governing muck disposal activities, ensuring adherence to legal requirements and standards.

### 7.5.1 Baseline Environmental Assessment

Before disposal begins, it's essential to conduct a baseline assessment to establish the environmental conditions prior to any muck disposal activities. This assessment will include evaluating baseline water quality, soil characteristics, and habitat features. Its purpose is to identify any potential impacts on sensitive receptors, such as water bodies, wetlands, and ecological habitats. By doing so, monitoring efforts to be prioritized and proactive measures should be taken to minimize potential environmental impacts.

### 7.5.2 Monitoring Parameters

#### a. Water Quality Monitoring

- ▶ Parameters include pH, turbidity, suspended solids, nutrients (nitrogen and phosphorus), and heavy metals (e.g., lead, mercury).
- ▶ Monitoring locations and frequency to be determined based on proximity to disposal activities and potential receiving water bodies.

#### b. Air Quality Monitoring



- ▶ Parameters include particulate matter (PM10 and PM2.5), volatile organic compounds (VOCs), CO and dust.
- ▶ Monitoring stations to be strategically placed to capture emissions from muck disposal operations and assess air quality impacts on surrounding communities.

**c. Soil Contamination Monitoring**

- ▶ Parameters include heavy metals, organic contaminants, and soil pH.
- ▶ Soil sampling to be conducted at designated locations within and around the disposal site to assess potential contamination and soil health.

**7.5.3 Monitoring Plan Implementation**

A comprehensive monitoring schedule should be developed, detailing the frequency and timing of monitoring activities across the pre-disposal, during disposal, and post-disposal phases. This schedule should also outline standardized sampling techniques and the equipment used to ensure accurate data collection and analysis. Collected data must be recorded and managed using appropriate data management tools and protocols. QA/QC procedures should be implemented to verify the accuracy and reliability of monitoring data, including calibration checks, duplicate samples, and laboratory analysis quality controls. Table 7-3 shows suggested Environmental Monitoring Plan.



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**Table 7-3: Suggested Environmental Monitoring Plan**

Sr. No.	Type	Locations	Parameters to be monitored	Period and Frequency	Standard	Institutional Responsibility & Implementation	Reporting Format	Audibility
<b>Pre-project</b>								
1.	Ambient Air Quality	5 locations; 4 around Dumping site including 1 in project site (tunnel entry)	PM10, PM2.5, SO2, CO and NO2	24-hr (8hr for CO) average samples Monitoring every six months (as per CPCB guidelines)	As per NAAQ standards 2009	Contractor through MoEF&CC approved agency	Monitoring Logbook	Monitoring Logbook Compliance reports
2.	Ambient Noise quality	5 locations around project site including 1 in project site	24hrly Day and Night time Leq levels	Monitoring every six months (as per CPCB guidelines)	24 hours reading as per Ambient Noise regulation 2000	Contractor through MoEF&CC approved agency	Monitoring Logbook	Monitoring Logbook Compliance reports
3.	Surface Water Quality	Based on availability	pH, temperature, DO, BOD, COD, Oil & Grease, Total Suspended Solid, turbidity, Total Hardness, Chlorine, Iron, Total Coliform, Heavy metals	Once in a season till end of construction (as per CPCB guidelines)	Surface Water Quality Standard as per used based classification for Surface Water as per CPCB Guidelines	Contractor through MoEF&CC approved agency	Monitoring Logbook	Monitoring Logbook Compliance reports
4.	Ground Water Quality	Based on availability	pH, Temperature, TSS, Total hardness, Suspended Solid, Chlorine, Iron, Sulphate, Nitrate		Ground Water Quality Standard as per IS-10500 as per used based classification for Surface Water as per CPCB Guidelines	Contractor through MoEF&CC approved agency	Monitoring Logbook	Monitoring Logbook Compliance reports
5.	Soil	5 locations around project site including 1 in project site	Physical Parameters: Texture, Grain Size; Chemical Parameter: pH, Conductivity, Calcium, Magnesium, Sodium, Nitrogen, Absorption Ratio	Once in a season till end of construction (as per CPCB guidelines)	Hand Book of Agriculture 2011, ICAR, New Delhi	Contractor through MoEF&CC approved agency	Monitoring Logbook	Monitoring Logbook Compliance reports



#### **7.5.4 Data Analysis and Interpretation**

Monitoring data should be analyzed using statistical methods and environmental modeling techniques to assess trends, identify potential impacts, and compare results with regulatory standards and baseline conditions. These results should be evaluated against applicable regulatory standards and baseline environmental conditions to determine compliance and assess environmental changes over time. Identifying and interpreting trends and anomalies in the monitoring data will help understand potential causes and inform adaptive management strategies.

#### **7.5.5 Reporting and Communication**

Comprehensive monitoring reports should be prepared, summarizing monitoring activities, findings, and recommendations for corrective actions. Monitoring results must be reported to regulatory agencies, project stakeholders, and the public in accordance with regulatory requirements and transparency principles. These results should be communicated to the public through outreach efforts, community meetings, and project websites to ensure transparency and public awareness.

#### **7.5.6 Adaptive Management and Mitigation Measures**

Adaptive management strategies should be developed and implemented in response to monitoring findings to mitigate environmental impacts and improve compliance. Corrective actions must be taken promptly to address identified non-compliance issues and mitigate potential environmental risks. The monitoring plan should be reviewed and updated periodically based on monitoring results, regulatory changes, and project developments to ensure its effectiveness and relevance.

#### **7.5.7 Compliance Assurance**

Ongoing compliance monitoring should be conducted to ensure adherence to regulatory requirements and permit conditions. In cases of non-compliance, appropriate enforcement actions should be taken, including corrective measures, fines, and penalties, to address violations and prevent recurrence. All compliance efforts, including monitoring results, corrective actions, and enforcement actions, should be documented and maintained for regulatory and record-keeping purposes.



## 8 Emergency Response Plan (ERP)

The Emergency Response Plan (ERP) details the procedures and actions necessary to handle emergencies associated with muck disposal in a twin tunnel project. This plan prioritizes the safety of workers, the public, and the environment, while ensuring that muck disposal operations remain efficient and effective.

### 8.1 Objectives

The objective of the Emergency Response Plan (ERP) is to establish a comprehensive framework that ensures prompt and effective response to emergencies. This plan aims to:

- ▶ Protect the safety and health of workers and the public.
- ▶ Minimize environmental impact.
- ▶ Ensure the continuity and efficiency of muck disposal operations.
- ▶ Provide clear procedures and guidelines for emergency situations.
- ▶ Facilitate coordinated and timely communication among all stakeholders.
- ▶ Comply with relevant regulations and standards.
- ▶ Mitigate risks and reduce potential damages associated with muck disposal emergencies.

### 8.2 Scope

This ERP covers all aspects of muck disposal in the twin tunnel project, including transportation, storage, and final disposal. It addresses potential emergencies such as spills, equipment failure, fires, and worker injuries.

### 8.3 Emergency Scenarios

Several emergency scenarios may arise during muck disposal in a twin tunnel project. These scenarios will pose risks to worker safety, public health, and the environment.

#### ▶ Spills or Leaks

Due to equipment malfunction, human error, or adverse weather conditions, accidental spills or leaks of muck during transportation or disposal may occur. These spills may result in soil and water contamination, posing environmental hazards.

#### ▶ Equipment Failure

Malfunction or breakdown of machinery used for muck disposal, such as conveyor belts, pumps, or trucks, may disrupt operations and lead to safety hazards for workers. Immediate response is crucial to prevent accidents and minimize downtime.

#### ▶ Structural Collapse

During muck excavation or disposal the collapse of tunnel walls or support structures may endanger workers and nearby infrastructure. It may also cause secondary hazards such as gas leaks or flooding, requiring rapid emergency response and evacuation procedures.

#### ▶ Chemical Exposure





Presence of heavy metals or contaminants in muck if any, may cause exposure to hazardous chemicals or substances and results in health hazards for workers and nearby communities. Proper handling and containment measures are essential to prevent exposure and mitigate risks.

► **Fire or Explosion**

If any combustible gases or materials present in the muck that may ignite, leading to fires or explosions. This may occur during excavation, transportation, or disposal processes, posing significant risks to personnel and property if not promptly addressed.

► **Natural Disasters**

Muck disposal operations may be disrupted due to events such as earthquakes, floods, or landslides and trigger emergencies. These disasters may compromise infrastructure, impede access to disposal sites, and escalate risks of environmental contamination or worker injuries.

► **Transportation Accidents**

Accidents may occur during transit to disposal sites involving muck transport vehicles, such as trucks or barges. Vehicle collisions, rollovers, or spills on roadways or waterways may lead to injuries, traffic congestion, and environmental damage.

► **Worker Injuries or Medical Emergencies**

While handling muck or operating heavy machinery, workers may sustain injuries or experience medical emergencies. Immediate first aid and medical assistance are necessary to address injuries and ensure the well-being of personnel.

By identifying and preparing for these emergency scenarios, effective emergency response measures should be implemented by the stakeholders to mitigate risks and safeguard the safety of workers, the public, and the environment during muck disposal activities.

#### **8.4 Emergency Response Team (ERT)**

The structured team approach ensures effective coordination, communication, and deployment of resources during muck disposal emergencies, ultimately enhancing the safety of workers, the public, and the environment. The structure of an Emergency Response Team (ERT) typically involves the following key roles and responsibilities:

► **Emergency Response Coordinator (ERC)**

- Overall responsibility for managing the emergency response team and coordinating all activities.
- Acts as the primary point of contact with external agencies, such as emergency services and regulatory authorities.
- Makes strategic decisions regarding resource allocation, communication, and incident management.

► **Safety Officer**

- Monitors and assesses safety risks during emergency response operations.
- Ensures that all response activities comply with safety protocols and regulations.
- Provides guidance on personal protective equipment (PPE) usage and safety procedures.

► **Operations Manager**

- Oversees the implementation of response actions according to the ERP.
- Coordinates with onsite personnel and equipment operators to execute containment, clean-up, and mitigation measures.
- Manages logistics, including the deployment of resources and equipment.

► **Head Environment / Specialist/Sr. Environment Engineer**



- Evaluates the potential environmental impact of the emergency and recommends mitigation strategies.
- Monitors air, soil, and water quality during response operations.
- Coordinates with environmental agencies and specialists to ensure compliance with regulations.
- ▶ **Health and Medical Officer**
  - Provides medical assistance and first aid to injured personnel.
  - Monitors the health and well-being of responders and affected individuals.
  - Coordinates with medical facilities and ambulance services for emergency medical treatment.
- ▶ **Communications Coordinator**
  - Manages internal and external communication channels during the emergency.
  - Facilitates information exchange among response team members, stakeholders, and the public.
  - Ensures timely dissemination of updates, instructions, and safety advisories.
- ▶ **Logistics and Resource Coordinator**
  - Manages inventory and deployment of emergency response resources, such as equipment, supplies, and personnel.
  - Coordinates transportation and logistics for moving personnel, equipment, and materials to and from the incident site.
  - Procures additional resources as needed to support response efforts.
- ▶ **Documentation and Reporting Officer**
  - Maintains accurate records of incident details, response actions, and outcomes.
  - Prepares incident reports, documentation for regulatory compliance, and post-incident evaluations.
  - Facilitates debriefings and lessons learned sessions to improve future response capabilities.

## 8.5 Emergency Response Procedures

Emergency response procedures are crucial for addressing unforeseen situations swiftly and effectively. By implementing comprehensive emergency response procedures, organizations should be effectively respond to emergencies, minimize risks, and ensure the safety and well-being of personnel and the surrounding community. The key components of emergency response procedures are given below:

### ▶ Immediate Assessment

The first step upon the occurrence of an emergency, is to assess the situation immediately to determine the severity and scope of the emergency.

### ▶ Notification

Any emergency to be notified promptly to all relevant personnel, including emergency responders, site supervisors, project managers, and any other individuals who need to be informed about the emergency.

### ▶ Emergency Communication

Clear communication channels and protocols to be established for communicating within the team and with external stakeholders. Utilize radios, phones, or other communication devices to ensure timely and accurate information dissemination.

### ▶ Evacuation Procedures



Evacuation procedures according to predetermined protocols to be implemented if the emergency poses a threat to the safety of personnel ensuring that evacuation routes are clearly marked and that personnel are familiar with evacuation procedures.

► **Emergency Services Coordination**

To provide assistance and support as needed local emergency services, such as fire departments, police, and medical responders to be coordinated. Relevant information about the emergency situation and any hazards they may encounter to be provided to them.

► **Response Actions**

Appropriate actions to be taken to mitigate the emergency situation. This may include implementing containment measures, activating emergency response equipment, initiating first aid procedures, or implementing other measures to minimize the impact of the emergency.

► **Resource Allocation**

Resources to be allocated, such as personnel, equipment, and materials, to address the emergency effectively ensuring that all necessary resources are readily available and deployed in a coordinated manner.

► **Documentation**

All actions taken during the emergency response, including communication logs, incident reports, and any other relevant documentation to be documented. This information will be valuable for post-incident analysis and future emergency preparedness efforts.

► **Safety Precautions**

The safety of personnel should be prioritized throughout the emergency response process ensuring that all response actions are conducted in accordance with safety protocols and that personnel are equipped with appropriate personal protective equipment (PPE).

► **Debriefing and Evaluation**

A debriefing session to be conducted following the resolution of the emergency to review the response efforts and identify any areas for improvement. Use this information to update emergency response procedures and enhance preparedness for future emergencies.

## **8.6 Equipment and Vehicles**

The Emergency Response Plan (ERP) for muck disposal in a twin tunnel project requires specific equipment and vehicles to handle emergencies effectively. By ensuring the availability and proper maintenance of this equipment and vehicles, the ERP enhances the readiness and efficiency of emergency response efforts in the muck disposal process.

### **8.6.1 Equipment**

► **Spill Response Kits**

- Absorbent pads and booms
- Spill containment barriers
- Shovels, brooms, and dustpans
- Buckets and waste bags for contaminated materials

► **Personal Protective Equipment (PPE)**

- Hard hats, safety goggles, and face shields
- Protective gloves and suits
- Respirators and masks
- Safety boots and hearing protection

► **First Aid Supplies**



- First aid kits
- Stretchers and immobilization devices
- Automated External Defibrillators (AEDs)
- Emergency eyewash stations
- ▶ **Firefighting Equipment**
  - Fire extinguishers (ABC type)
  - Fire blankets
  - Fire hoses and nozzles
  - Smoke detectors and fire alarms
- ▶ **Air Monitoring Devices**
  - Gas detectors for methane, carbon monoxide, and other hazardous gases
  - Dust and particulate monitors
  - Oxygen level meters
- ▶ **Communication Devices**
  - Two-way radios
  - Mobile phones and satellite phones
  - Public address systems
  - Emergency contact lists
- ▶ **Containment and Clean-up Tools**
  - Temporary storage containers (drums, tanks)
  - Pumps and hoses for liquid transfer
  - Excavators and loaders for solid material handling
  - Pressure washers
- ▶ **Lighting and Power Supply**
  - Portable generators
  - Floodlights and headlamps
  - Extension cords and power strips

#### 8.6.2 Vehicles

- ▶ **Emergency Response Vehicles**
  - Fully equipped emergency response trucks
  - Utility vehicles for quick onsite transportation
  - Mobile command centers
- ▶ **Ambulances**
  - For medical emergencies and transport of injured personnel
  - Equipped with medical supplies and first aid equipment
- ▶ **Fire Trucks**
  - Equipped with water pumps, hoses, and firefighting equipment
  - Specialized vehicles for tunnel fire emergencies
- ▶ **Heavy Machinery**
  - Excavators for muck removal and containment
  - Bulldozers for clearing debris
  - Front-end loaders for material handling
- ▶ **Transportation Vehicles**
  - Trucks for transporting muck to disposal sites
  - Water tankers for dust suppression and firefighting
  - Flatbed trucks for moving large equipment





► **Specialized Environmental Response Vehicles**

- Vehicles equipped with air and water quality monitoring equipment
- Mobile laboratories for onsite environmental analysis

**8.6.3 Additional Resources**

► **Temporary Shelter and Welfare Facilities**

- Portable restrooms and sanitation facilities
- Tents and temporary shelters for response personnel
- Rest areas with food and water supplies

► **Documentation and Reporting Tools**

- Cameras and video recording devices for incident documentation
- Computers and tablets for data entry and reporting
- Stationery and forms for record-keeping

**8.7 Transportation Routes**

The Emergency Response Plan (ERP) for muck disposal in a twin tunnel project shall include transportation routes to ensure safe and efficient movement of muck from construction site to disposal site through eastern expressway in night time along emergency response vehicle and personnel. By carefully planning and transportation routes management will enable the ERP ensures the safe and efficient movement of muck, minimizes risks during transportations.

**8.7.1 Transportation Routes for Muck Disposal**

► **Primary Routes**

- The main roads and paths designated for transporting muck from the excavation site to disposal areas to be identified.
- It is to be ensured that these routes are well-maintained and capable of handling the weight and frequency of muck transport vehicles.

► **Secondary Routes**

- In case the primary routes are obstructed or under maintenance, an alternative route should be planned.
- Secondary routes to be inspected and maintained regularly to ensure they are passable when needed.

► **Route Accessibility**

- It is to be ensured that routes are accessible to heavy machinery and muck transport vehicles.
- Road width, height clearances, and weight limits should be considered when planning routes.
- Any potential bottlenecks or restricted areas that might impede traffic flow should be addressed.

► **Safety Measures**

- Adequate signage to be installed along routes to guide drivers and indicate speed limits, hazards, and directions.
- Traffic control measures, such as traffic lights or flaggers to be implemented to manage vehicle movement.
- Proper lighting along routes, especially in areas with poor visibility to be ensured.

► **Environmental Considerations**





- To minimize environmental impact routes to be planned avoiding sensitive areas such as wetlands, wildlife habitats, and residential zones.
- To control dust and noise pollution control measures to be implemented along transportation routes.

#### 8.7.2 Emergency Transportation Routes

► **Emergency Access Routes**

- Specific routes to be designated for emergency response vehicles to access the muck disposal site quickly ensuring that these routes are kept clear of obstructions at all times.

► **Evacuation Routes**

- Routes for the safe evacuation of workers and personnel in case of an emergency should be identified and clearly marked.
- Regular drills to be conducted to familiarize workers with evacuation routes and procedures.

► **Medical Transport Routes**

- Routes for ambulances and medical personnel to be planned to reach injured workers swiftly.
- Coordination to be done with local hospitals and medical facilities to ensure they are aware of and prepared for potential emergencies.

► **Alternate Routes for Emergency Situations**

- Multiple routes to be established to account for different types of emergencies (e.g., fire, flood, structural collapse).
- Based on changing site conditions and project progress these routes should be regularly reviewed and updated.

#### 8.7.3 Communication and Coordination

► **Real-time Updates**

- GPS and real-time tracking systems to be used to monitor vehicle movements and provide updates on route conditions.
- A communication system to be implemented to inform drivers and response teams about route changes, hazards, or emergencies.

► **Coordination with Local Authorities:**

- To coordinate route planning and emergency response, should be worked closely with local traffic management authorities, police, and emergency services.
- Transportation plans and updates to be shared with relevant stakeholders to ensure a unified approach.

► **Training and Awareness**

- Drivers and emergency response personnel to be trained on the designated routes and emergency procedures.
- Regular briefings and updates to be conducted to keep everyone informed about any changes to routes or emergency plans.

#### 8.7.4 Documentation and Review

► **Route Maps**

- Detailed maps of all primary, secondary, and emergency routes to be created.
- These maps to be distributed to all relevant personnel and ensure they are easily accessible.



► **Regular Inspections and Maintenance**

- Regular inspections of all transportation routes to be carried out to identify and address any issues.
- Log of inspections, maintenance activities, and any incidents that occur on the routes to be maintained.

► **Continuous Improvement**

- Based on feedback, incident reports, and changes in project scope transportation routes to be updated regularly.
- Improvement to be implemented to enhance safety, efficiency, and responsiveness.

## **8.8 Scheduling**

To ensure that all activities related to muck disposal and emergency preparedness are carried out in a timely and coordinated manner, scheduling is a critical component of the Emergency Response Plan (ERP) for muck disposal. By implementing a comprehensive scheduling plan, the ERP for muck disposal in a twin tunnel project should ensure that all activities are conducted efficiently, emergencies are managed effectively, and continuous improvement to be achieved.

### **8.8.1 Regular Operations Scheduling**

► **Muck Disposal Operations**

- Daily Schedule to be established for muck excavation, transport, and disposal including start and end times, ensuring that all teams are aware of their shifts and responsibilities.
- Equipment Maintenance schedule to be established for muck disposal equipment to prevent breakdowns and ensure operational efficiency.
- Transport Coordination to be scheduled for the timing of muck transport to avoid congestion and ensure continuous flow. Use staggered schedules if necessary.

► **Worker Shifts**

- To ensure adequate staffing for all muck disposal operations, working shift to be planned including breaks and rest periods to maintain worker safety and productivity.
- Dedicated shifts to be scheduled for emergency response teams to ensure readiness at all times.

### **8.8.2 Emergency Preparedness Scheduling**

► **Training and Drills**

- Regular training sessions schedule to be developed for all personnel on emergency response procedures, use of personal protective equipment (PPE), and first aid.
- Emergency drills to be conducted at scheduled intervals (e.g., quarterly) to test the effectiveness of the ERP and improve response capabilities. Drills should simulate different emergency scenarios related to muck disposal.

► **Equipment Checks:**

- Routine inspections to be scheduled for emergency response equipment, such as spill kits, firefighting equipment, and first aid supplies, to ensure they are in good working condition.
- Regular inventory audits to be scheduled for emergency supplies and restock as necessary.



### **8.8.3 Emergency Response Scheduling**

#### ► **Emergency Team Availability**

- An on-call rotation schedule to be implemented for emergency response team members to ensure 24/7 availability and clearly defining roles and responsibilities for each shift.
- Standby arrangements to be scheduled for key personnel, such as the Emergency Response Coordinator, Safety Officer, and Health and Medical Officer.

#### ► **Communication Drills**

- Regular tests of communication systems to be scheduled (e.g., two-way radios, mobile phones) to ensure reliable connectivity during emergencies.
- Coordination meetings to be scheduled with local emergency services, regulatory agencies, and other stakeholders to review emergency plans and ensure alignment.

### **8.8.4 Continuous Monitoring and Improvement**

#### ► **Monitoring and Review**

- After each emergency drill and actual incident reviews to be scheduled to analyse response effectiveness and identify areas for improvement.
- Regular updates to be scheduled to the ERP based on feedback, incident analysis, and changes in project scope or regulations.

#### ► **Stakeholder Engagement**

- Regular briefings to be scheduled with project stakeholders, including workers, management, and local authorities, to discuss emergency preparedness and response plans.
- Feedback sessions to be organized to gather input from workers and emergency response team members on the effectiveness of current procedures and potential improvements.

### **8.8.5 Documentation and Reporting**

#### ► **Record Keeping**

- Detail reports to be maintained of all scheduled activities, including training sessions, drills, equipment inspections, and incident reviews.
- Regular reporting to be scheduled to regulatory agencies to ensure compliance with safety and environmental regulations.
- It is to be ensured that all activities related to muck disposal and emergency preparedness are carried out in a timely and coordinated manner

### **8.9 Loading and unloading Procedures**

- Safety measures to be implemented to protect workers during loading, including barriers and signage.
- Water sprays or other dust suppression methods to be used during loading to minimize airborne particles.
- It is to be ensured that muck is properly loaded and secured with tarpaulins to prevent spillage during transport.
- Safety measures to be implemented at the disposal site to protect workers and equipment.
- Controlled unloading techniques to be used to minimize dust and material spread.



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### **Muck Disposal & Management Plan**



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- Regularly maintenance and monitoring of disposal sites to be done to ensure they remain safe and compliant with environmental regulations.





## 9 Available Site Options

The M/s J. KUMARNCC Pvt Limited has proposed disposal site located in vasai-virar under municipal jurisdictions at a safe distance as specified by clearance and environmental regulations from rivers, lakes, and other water bodies to prevent contamination and protect aquatic ecosystems.

These proposed land is about **2,40,440.95 m<sup>2</sup>** typically range from several hundred meters to a few kilometres upto **4,66,175.00 m<sup>2</sup>**. The land approved for disposal purposes as Environmental clearance obtained successfully and other local or requisites requirement adhered by the land owner/Contractor. (Pls find the attached for details in Annexure-1)

As on date one of the option available for disposal of muck at Proposed Residential cum Commercial Project at Land bearing S.No.62, H.No.1,2/Pt.,3,4,5,7, S.No.63, H.No.2/1,2/2,3, S.No.64, H.No.2,3, S.No.65, S.No.68, H.No.1,2,3, S.No.69, H.No.1,2,3,4,5, S.No.72, S.No.73, S.No.75, H.No.1, 2/1, 2/2, 3,4,5,7, S.No.76, S.No.77, H.No.2,3, 4,5,6,7, S.No.81, H.No.1, 2, 4, 5, 6, 8, 9, 10, 12, 13, 14, 15, 16, 17, 18, 19, 21, 22, 23, S.No.82, H.No.1,2,3/2,3/3,4,5,6,7,8/1,9,10, S.No.83, H.No.1/Pt., S.No.84, H.No.3, 4, 6/Pt.,7/Pt., 10, S.No.85, H.No.3B,6, 7,9,10,12, S.No.87, H.No.1A,1B,1C,2A,2B,3,7,S.No.88, H.No.1A,1B,2A,2B,4,5, S.No.89, H.No.1, 2 & 4, S.No.271, S.No.272,S.No.273, S.No.274, H.No.1,2,3, S.No.275, H.No.1,2,3, S.No.276,H.No.1,2,3,4,5,S.No.277, H.No. 1, 2, 3, S.No.278, H.No.1, 2, 3, 4 S.No.279, H.No.1, 2, S.No.280, H.No.1, 2,3,4,5 Village: Gokhiware, Tal: Vasai, Dist.: Palghar, Maharashtra by Rashmi Ameya Developers Housing & Estate Realtors Pvt. Ltd.

Since, the location of the dumping site is proposed for GMLR site muck disposal-designing, Transportation Route, Budgetary location, Impact prediction and mitigation a prescriptive approach has been followed sincerely.







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**Figure 9-1: Google Image showing the available location**



**Figure 9-2: Map showing the existing routes to reach the available site for dumping**



## **10 Budgetary allocation for Muck Disposal Site**

As the location and site for muck disposal not yet finalized, an estimation has been made considering the unit rate for the much transportation, engineering measures and biological measures given in **Table 10-1,**



Table 10-2 and  
Table 10-3 respectively.

Table 10-1: Cost Estimate for Muck Transportation

Sr.No	Particular	
1.	Volume of muck	35,37,072 Cum
2.	Distance to Disposal Site	45 km
3.	Transport Vehicles	Hywas/Dumpers/Trucks
	Assumptions,	
	no. of dump trucks	10 nos.
	capacity of each truck	20 m <sup>3</sup>
	Each truck makes nos. of trips to transport the entire volume.	25 nos.
4.	Fuel Cost	
	Fuel consumption	3 km/lt
	Fuel price	Rs. 92.15 /lt
	Total distance covered by all trucks	45 km x 2 (round trip) x 25 trips x 10 trucks = 22,500 km.
	Total fuel consumed	22,500 km / 3 km per litre = 7,500 litres.
	Total fuel cost	7,500 litres x Rs. 92.15 per litre = Rs. 69,1125
5.	Labour Costs	
	Assume per day per truck for driver wages	Rs. 1,000
	Total labour cost	10 trucks x Rs. 1,000 per day x 5 days (assuming 5 days to complete the task) = Rs. 50,000.
6.	Maintenance and Depreciation	
	Assume for maintenance and depreciation.	Rs. 1,000 per truck per day
	Total maintenance cost	= 10 trucks x Rs. 1,000 per day x 5 days = Rs. 50,000.

**MUMBAI GMLR PROJECT, MUMBAI****Muck Disposal & Management Plan****NCC**  
NCC Limited**Table 10-2: Cost Estimate for Engineering Measures**

Sr.No	Particular	Unit Rate Rs
1.	Gabion Wall construction	6000 / meter
2.	Filling of earth /Top Soil	25 / sq.mt
3.	Levelling	3000 / ha

**Table 10-3: Cost Estimate for Biological Measures**

S. No.	Particulars	Rate (in Rs.)	Amount (Rs. In lakhs)/ha
1.	Pitting (size: 0.45 m x 0.45 m x 0.45 m)	Lumpsum	15.00
2.	Manure and soil filling in pits including transportation	Lumpsum	10.00
3.	Raising of plants (including nursery cost, manure, transport, etc.)	Lumpsum	25.00
4.	Fencing, maintenance, watering, transport, etc.	Lumpsum	10.00
	<b>Total</b>		<b>60.00</b>

**Table 10-4: Cost Estimates for Environmental Monitoring**

Component	Particular	Quantity	Unit Rate (Rs)	Total Cost (Rs)
Air	AAQM Monitoring location to be identified based on sensitive receptor	Based on sampling location and frequency of sampling	LumpSum	10.0
Surface Water	Surface water resources		LumpSum	10.0
Ground Water	Ground water bodies		LumpSum	10.0
Noise	Monitoring location to be identified based on sensitive receptor		LumpSum	10.0
Soil	Monitoring location to be identified based on sensitive receptor		LumpSum	10.0
Leachate	Sensitivity/Percolations Pollutants		LumpSum	10.0
<b>Total</b>				<b>60.00</b>



# MUMBAI GMLR PROJECT, MUMBAI

## Muck Disposal & Management Plan



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**Table 10-5: Cost Estimates for Site Preparation and Mitigation measures**

S. No.	Particulars	Rate (in Rs.)	Amount (Rs. in lakhs)/ha
1.	Site Clearance if any	Lumpsum	500000
2.	Site Preparation	Lumpsum	3500000
3.	Erosion and Sedimentation Control	Lumpsum	3000000
4.	Dust Control Measures	Lumpsum	2000000
5.	Noise Control Measures	Lumpsum	2000000
6.	Drainage Management	Lumpsum	4000000
7.	RA-DMP	Lumpsum	2000000
	<b>Total</b>		<b>1,7000000</b>

**Table 10-6: Royalty Cost for Disposal site**

Unidentified, as per government norms charges will be levied as an extra/ costs additional.





## 11 Conclusion

The muck disposal plan for the Goregaon-Mulund Link Road (GMLR) project is a critical component that ensures the project is executed responsibly, sustainably, and in harmony with environmental and community considerations. Since, the location of the dumping site not yet finalized, site designing, Transportation Route, Budgetary location, Impact prediction and mitigation a prescriptive approach has been followed. This comprehensive plan outlines procedures and guidelines designed to mitigate environmental impact and safeguard public health. One of the core elements of this plan is the strict prohibition of muck disposal in Coastal Regulation Zone (CRZ) areas and forest regions, which are highly sensitive and protected ecosystems. By excluding these areas from disposal activities, the plan not only complies with regulatory requirements but also demonstrates a strong commitment to preserving the natural habitat and biodiversity.

The plan emphasizes continuous improvement and adaptive management practices. Regular environmental monitoring, feedback loops, and stakeholder consultations are integral to the process, allowing for ongoing assessment and enhancement of disposal practices. This ensures that any potential issues are promptly addressed, and strategies are refined to better meet environmental standards.

Community engagement is another pivotal aspect of the muck disposal plan. Keeping local residents informed and involved through transparent communication helps in fostering trust and cooperation. Measures to control dust, noise, and waste management are meticulously implemented to minimize any adverse impacts on nearby communities, ensuring their health and well-being are protected throughout the project's duration.

Operational efficiency is achieved through strategic site selection and route planning, which reduce transportation time and costs. This is coupled with rigorous training and safety protocols for all personnel involved in muck disposal, ensuring safe and effective handling of waste materials.

The muck disposal plan is designed to be flexible and responsive to new data, regulatory changes, and technological advancements. By incorporating these adaptive strategies, the GMLR project should navigate challenges and continue to improve its practices, ensuring long-term sustainability.

Rehabilitation and restoration of disposal sites post-project are also crucial. The plan includes measures to restore these areas to a natural or productive state, contributing to the ecological sustainability of the region. Additionally, the emphasis on recycling and reusing materials wherever possible reduces waste generation and promotes sustainable construction practices.

In summary, the muck disposal plan for the GMLR project is integral to achieving developmental goals while maintaining the ecological integrity and social fabric of the region. By adhering to outlined procedures, excluding CRZ and forest areas, and committing to continuous improvement, the project sets a benchmark for responsible and sustainable infrastructure development.

# ANNEXURE-I

मुख्य कार्यालय, विरार  
विरार (पूर्व),  
ता. वसई, जि. पालघर - ४०१ ३०५.



दुरध्वनी : ०२५० - २५२५१०१ / ०२/०३/०४/०५/०६

फॅक्स : ०२५० - २५२५१०९

ई-मेल : vasaivirarcorporation@yahoo.com

जावक क्र.: ब.वि.श.म.

दिनांक :

VVCMC/TP/RDP/VP-0329,0815&0509/274/2023-24

Date: 16/02/2024

To,

1. Shri Devendra R Ladhani (P.A. Holder)  
D-II/1&2, Aakansha Commercial Complex,  
Achole Road, Nallasopara (E),  
Tal: Vasai, Dist: Palghar.
2. M/s Sanat Mehta & Associates,  
103, Rameshwar Tower 'A',  
Shimpoli Road, Borivali (W),  
Mumbai - 400 092.

**Sub: Revised Development Permission for the proposed Residential, Residential with Shopline Buildings, R.O.S., Common Area, Commercial building, LWC building no. 1&2, LWC Welfare Center (Nursing Home), Community Center building no.1 (Hospital-1), Community Center building no.1 (School), Community Center building no.1 (Cafeteria), Community Center Building no.2, Ancillary Building, High School Building, Educational building in HS, School building No.1&2 on CFC-2, Informal Market, Primary School-1 on land bearing S.No.62, H.No.1, 2/Pt., 3, 4, 5, 7, S.No.63, H.No.2/1, 2/2, 3, S.No.64, H.No.2, 3, S.No.65, S.No.68, H.No.1, 2 & 3, S.No.69, H.No.1, 2, 3, 4, 5, S.No.72, S.No.73, S.No.75, H.No.1, 2/1, 2/2, 3, 4, 5, 7, S.No.76, S.No.77, H.No.1, 2, 3, 4, 5, 6, 7, S.No.81, H.No.1, 2, 4, 5, 6, 7, 8, 9, 10, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, S.No.82, H.No.1, 2, 3/2, 3/3, 4, 5, 6, 7, 8/1, 9, 10, S.No.83, H.No.1/Pt., S.No.84, H.No.1, 2, 3, 4, 6/Pt., 7/Pt., 10, 11, 12, S.No.85, H.No.1/1, 1/2, 1/4, 1/8, 3B, 6, 7, 9, 10 & 12, S.No.87, H.No.1A, 1B, 1C, 2A, 2B, 3 & 7, S.No.88, H.No.1A, 1B, 2A & 2B, 4 & 5, S.No.89, H.No.1, 2 & 4, S.No.271, S.No.272, S.No.273, S.No.274, H.No.1, 2, 3, S.No.275, H.No.1, 2, 3, S.No.276, H.No.1, 2, 3, 4, 5, S.No.277, H.No.1, 2 & 3, S.No.278, H.No.1, 2, 3, 4, S.No.279, H.No.1 & 2, S.No.280, H.No.1, 2, 3, 4, 5 Vill: Gokhiware, Tal: Vasai, Dist: Palghar.**

- Ref:
- 1) TILR M.R.No.1087/2020 dt.24/03/2020 & dt.25/03/2020 for measurement.
  - 2) N.A. Order No. REV/D-1/T-9/NAP/Gokhiware-Vasai/SR-174/2012 dt.04/04/2012.
  - 3) N.A. Order No. REV/D-1/T-9/NAP/Gokhiware-Vasai/SR-159/2011 dt.13/04/2012.
  - 4) N.A. Order No. REV/D-1/T-9/NAP/Gokhiware-Vasai/SR-36/2012 dt.31/05/2012.
  - 5) N.A. Order No. REV/D-1/T-IX/NAP/Gokhiware-Vasai/SR-83/2012 dt.22/02/2013.
  - 6) N.A. Order No. REV/D-1/T-IX/NAP/Gokhiware-Vasai/SR-102/2013 dt.05/04/2014.
  - 7) N.A. Order No. REV/D-1/T-9/NAP/Gokhiware-Vasai/SR-125/2014 dt.20/03/2015.
  - 8) N.A. Order No. REV/D-1/T-9/NAP/Gokhiware-Vasai/SR-51/2014 dt.27/11/2015.
  - 9) Certificate u/s 42A of MLR Code regarding Class of land occupancy and encumbrances No. REV/K-I/T-I/SR-07/15 dt.20/03/2015.
  - 10) Certificate u/s 42A of MLR Code regarding Class of land occupancy and encumbrances No. REV/K-I/T-I/SR-20/15 dt.28/09/2015.
  - 11) Certificate u/s 42A of MLR Code regarding Class of land occupancy and encumbrances No. REV/K-I/T-I/SR-20A/15 dt.03/11/2015.
  - 12) Certificate u/s 42A of MLR Code regarding Class of land occupancy and encumbrances No. REV/K-I/T-I/LAND-1/KV/SR-530/2018 dt.28/12/2018.
  - 13) Certificate u/s 42A of MLR Code regarding Class of land occupancy and encumbrances No. REV/K-I/T-I/LAND-1/KV/SR-121/2019 dt.16/02/2019.
  - 14) Certificate u/s 42A of MLR Code regarding Class of land occupancy and encumbrances No. REV/K-I/T-I/LAND-1/KV/SR-128/2019 dt.16/02/2019.
  - 15) Certificate u/s 42A of MLR Code regarding Class of land occupancy and encumbrances No. REV/K-I/T-I/LAND-1/KV/SR-143/2019 dt.16/02/2019.
  - 16) Certificate u/s 42A of MLR Code regarding Class of land occupancy and encumbrances No. REV/K-I/T-I/LAND/KV/SR-636/2019 dt.29/11/2019.





VVCMC/TP/RDP/VP-0329,0815&0509/274/2023-24

Date: 16/02/2024

- 17) Certificate u/s 42A of MLR Code regarding Class of land occupancy and encumbrances No.REV/K-I/T-I/LAND/KV/SR-637/2019 dt.29/11/2019.
- 18) Certificate u/s 42A of MLR Code regarding Class of land occupancy and encumbrances No.REV/K-I/T-I/LAND/KV/SR-638/2019 dt.29/11/2019.
- 19) Certificate u/s 42A of MLR Code regarding Class of land occupancy and encumbrances No.REV/K-I/T-I/LAND/KV/SR-640/2019 dt.29/11/2019.
- 20) Certificate u/s 42A of MLR Code regarding Class of land occupancy and encumbrances No.REV/K-I/T-I/LAND/KV/SR-641/2019 dt.29/11/2019.
- 21) Certificate u/s 42A of MLR Code regarding Class of land occupancy and encumbrances No.REV/K-I/T-I/LAND/KV/SR-642/2019 dt.29/11/2019.
- 22) Certificate u/s 42A of MLR Code regarding Class of land occupancy and encumbrances No.REV/K-I/T-I/LAND/KV/SR-643/2019 dt.29/11/2019.
- 23) Certificate u/s 42A of MLR Code regarding Class of land occupancy and encumbrances No.REV/K-I/T-I/LAND/KV/SR-644/2019 dt.29/11/2019.
- 24) Certificate u/s 42A of MLR Code regarding Class of land occupancy and encumbrances No.REV/K-I/T-I/LAND/KV/SR-645/2019 dt.29/11/2019.
- 25) Certificate u/s 42A of MLR Code regarding Class of land occupancy and encumbrances No.REV/K-I/T-I/LAND/KV/SR-646/2019 dt.29/11/2019.
- 26) Certificate u/s 42A of MLR Code regarding Class of land occupancy and encumbrances No.REV/K-I/T-I/LAND/KV/SR-647/2019 dt.29/11/2019.
- 27) Certificate u/s 42A of MLR Code regarding Class of land occupancy and encumbrances No.REV/K-I/T-I/LAND/KV/SR-648/2019 dt.29/11/2019.
- 28) Certificate u/s 42A of MLR Code regarding Class of land occupancy and encumbrances No.REV/K-I/T-I/LAND/KV/SR-650/2019 dt.29/11/2019.
- 29) Certificate u/s 42A of MLR Code regarding Class of land occupancy and encumbrances No.REV/K-I/T-I/LAND/KV/SR-654/2019 dt.29/11/2019.
- 30) Certificate u/s 42A of MLR Code regarding Class of land occupancy and encumbrances No.REV/K-I/T-I/LAND/KV/SR-94/2020 dt.10/02/2020.
- 31) Certificate u/s 42A of MLR Code regarding Class of land occupancy and encumbrances No.REV/K-I/T-I/LAND/KV/SR-85/2020 dt.10/02/2020.
- 32) Certificate u/s 42A of MLR Code regarding Class of land occupancy and encumbrances No.REV/K-I/T-I/LAND/KV/SR-96/2020 dt.10/02/2020.
- 33) Certificate u/s 42A of MLR Code regarding Class of land occupancy and encumbrances No. REV/K-I/T-I/LAND/KV/SR-97/2020 dt.10/02/2020.
- 34) N.A. Receipt No.MH010747413, MH010747344, MH010747697, MH010747615, MH010748279, MH010748179, MH010748535, MH010748451, MH010746606, MH010746321, MH010749879, MH010750283, MH010750179, MH010747974, MH010750541, MH010750480 dt.16/02/2018.
- 35) N.A. Receipt No.MH010788856, MH010788823, MH010788979, MH010788924, MH010788708, MH010788665, MH010789662, MH010789679, dt.17/02/2018.
- 36) N.A. Receipt No. MH000720584, MH000720715, MH000721123, MH000721007 dt.20/04/2018.
- 37) Receipt No. MH006500515, MH006500615, MH006531604, MH006531649, MH006502582, MH006502481, MH006502780, MH006502899, MH006503680, MH006503459, MH006504259, MH006504149, MH006508434, MH006508353, MH006501152, MH006500863, MH006532000, MH006531959, MH006502177, MH006502274, MH006505283, MH006505143, MH006504524, MH006504630, MH006501802, MH006501923, MH006504823, MH006504948, dt.20/09/2019.
- 38) Receipt No. MH008851946, MH008851779 dt.28/11/2019.
- 39) Receipt No. MH011547511, MH011547585, MH011547865, MH011547940 dt.03/02/2020.
- 40) Receipt No. MH006254101, MH006254219, dt.15/09/2021.
- 41) Certificate u/s 42B of MLR Code regarding Class of land occupancy and encumbrances No.REV/K-I/T-I/NAP/KAVI/5405/SR-687/2021dt.20/09/2021.
- 42) Commencement certificate no. VVCMC/TP/CC/VP-0465/1070/2012-13 dt.10/07/2012.



मुख्य कार्यालय, विरार  
विरार (पूर्व),  
ता. वसई, जि. पालघर - ४०१ ३०५.



दुरध्वनी : ०२५० - २५२५१०१ / ०२/०३/०४/०५/०६

फॅक्स : ०२५० - २५२५१०७

ई-मेल : vasaivirarcorporation@yahoo.com

जाचक क्र.: व.वि.श.म.

दिनांक :

VVCMC/TP/RDP/VP-0329,0815&0509/274/2023-24

Date: 16/02/2024

- 43) Commencement Certificate no. VVCMC/TP/CC/VP-0329, 0815 & 0509/1065/2012-13 dt.10/07/2012.
- 44) Revised Development Permission no. VVCMC/TP/RDP/VP-0329, 0815 & 0509/0223/2013-14 dt.25/07/2013.
- 45) Revised Development Permission no. VVCMC/TP/RDP/VP-0329, 0815 & 0509/0189/2014-15 dt.15/11/2014.
- 46) Revised Development Permission no. VVCMC/TP/RDP/VP-0329, 0815 & 0509/120/2015-16 dt.20/07/2015.
- 47) Revised Development Permission no. VVCMC/TP/RDP/VP-0329, 0815 & 0509/123/2018-19 dt.12/10/2018.
- 48) Revised Development Permission no. VVCMC/TP/RDP/VP-0329, 0815 & 0509/196/2019-20 dt.18/11/2019.
- 49) Revised Development Permission no. VVCMC/TP/RDP/VP-0329, 0815 & 0509/367/2019-20 dt.23/03/2020.
- 50) Revised Development Permission no. VVCMC/TP/RDP/VP-0329, 0815 & 0509/29/2020-21 dt.28/10/2020.
- 51) Revised Development Permission no. VVCMC/TP/RDP/VP-0329, 0815 & 0509/147/2021-22 dt.31/05/2021.
- 52) Revised Development Permission no. VVCMC/TP/RDP/VP-0329, 0815 & 0509/363/2021-22 dt.12/08/2021.
- 53) Revised Development Permission no. VVCMC/TP/RDP/VP-0329, 0815 & 0509/525/2021-22 dt.13/10/2021.
- 54) Revised Development Permission no. VVCMC/TP/RDP/VP-0329, 0815 & 0509/772/2021-22 dt.03/01/2022.
- 55) Revised Development Permission No. VVCMC/TP/RDP/VP-0329, 0815 & 0509/241/2022-23 dt.29/07/2022.
- 56) Revised Development Permission No. VVCMC/TP/RDP/VP-0329, 0815 & 0509/672/2022-23 dt.31/03/2023.
- 57) Revised Development Permission No. VVCMC/TP/RDP/VP-0329, 0815 & 0509/243/2023-24 dt.31/01/2024.
- 58) Environment Clearance No. SEAC 2016/CR 366/TC1 dt. 06/01/2017.
- 59) NOC from MCZMA No. CRZ 2015/CR 244/ TC 4 dt. 02/11/2019.
- 60) Minutes of 143<sup>rd</sup> Meeting of the State Level Expert Appraisal Committee-II dt. 25<sup>th</sup> & 26<sup>th</sup> February 2021.
- 61) Environment Clearance No. SIA/MH/MIS/50545/2019 dt.09/12/2021 (EC Identification No. - EC21B039MH165230).
- 62) Revised Environment Clearance No.- EC23B038MH139617 File No. - SIA/MH/INFRA2/422777/2023 Date of Issue EC - 21/07/2023
- 63) Consent to 2nd Operate (Part-II) -Format 1.0/CAC-CELL/UAN No.0000110807/CO/2302001904 dt.27/02/2023.
- 64) Your Licensed Engineer letter dated.08/12/2023.



Sir / Madam,

The Development Plan of Vasai Virar Sub Region is sanctioned by Government of Maharashtra vide Notification no TPS-1205/1548/CR-234/2005/UD-12 dated 09/02/2007. Keeping 113 EPS in pending. Further 5 EPS were approved vide Notification No.TPS-1208/1917/CR-89/09/UD-12 dtd.13/03/2009, 31 EPS were approved vide Notification No.TPS-1208/1917/CR-89/09/UD-12 dtd.19/09/2009, Notification No. TPS-1208/1917/CR-89/08/UD-12 dtd.05/10/2009, 11 EPS were approved vide Notification No. TPS-1209/1917/CR-89/09 UD-12 dtd.4<sup>th</sup> April 2012, 1 EP was approved vide notification no. TPS-1214/975/CR-77/14/UD-12 dtd.16<sup>th</sup> August 2014 and 64 EPS were approved vide notification no. TPS-1214/975/CR-77/14/UD-12 dtd.27<sup>th</sup> February 2015. Govt. entrusted Planning Authority functions for respective Jurisdiction of Vasai-Virar City Municipal Corporation vide notification no. TPS-1209/2429/CR-262/2010/UD-12 dtd.07/07/2010. Further Vasai Virar City Municipal Corporation is appointed by Govt.of Maharashtra as SPA for 21 villages Arnala, ArnalaKilla, Patlipada, Mukkam, Tembl, Kolhapur, Chandrapada, Tokri, Khalipada, Vasalal, Rangao, Doliv, Khardl, Khochiwada, Palli, Tivrt, Octane, Tarkhad, Malipada, Satpala & Kalamb, notification no. TPS-1214/UOR-54/CR-17/15/UD-12 dtd. The 21<sup>st</sup> February



VVCMC/TP/RDP/VP-0329,0815&0509/274/2023-24

Date: 16/02/2024

2015. In the capacity of Municipal Corporation/Planning Authority for respective jurisdiction and SPA for 21 villages VVCMC is functioning as per MRTP Act 1966.

Revised Development Permission is hereby granted for the proposed Residential, Residential with Shopline Buildings, R.O.S., Common Area, Commercial building, LWC building no. 1&2, LWC Welfare Center (Nursing Home), Community Center building no.1 (Hospital-1), Community Center building no.1 (School), Community Center building no.1 (Cafeteria), Community Center Building no.2, Ancillary Building, High School Building, Educational building in HS, School building No.1&2 on CFC-2, Informal Market & Primary School-1 under section 45 of Maharashtra Regional & Town planning Act 1966 (Mah XXVII of 1966) to Shri Devendra R Ladhani (P.A. Holder).

The drawing shall be read with the layout plan approved along with this letter and conditions mentioned in the letter No. VVCMC/TP/CC/VP-0329, 0815 & 0509/1065/2012-13 dt.10/07/2012. The details of the layout is given below: -

Sr.No.	Designation of Site	Area (SQ.M.)
1	Name of assessee owner/ P.A.Holder	: Shri Devendra R Ladhani (P.A. Holder)
2	Location	: Gokhiware
3	Land Use (Predominant)	: Residential, Residential with Shopline Buildings, R.O.S., Common Area, Commercial building, LWC building no.1&2, LWC Welfare Center (Nursing Home), Community Center building no.1 (Hospital-1), Community Center building no.1 (School), Community Center building no.1 (Cafeteria), Community Center Building no.2, Ancillary Building, High School Building, Educational building in HS, School building No.1&2 on CFC-2 & Informal Market, Primary School -1.
4	Area of plot (Minimum area of a, b, c to be considered)	:
	(a) As per ownership document (7/12, CTS extract)	: 4,74,185.00
	(a1) CRZ IA	: 24,069.90
	(a2) CRZ II	: 77,215.30
	(a3) NON CRZ	: 3,72,899.80
	(b) as per measurement sheet	: -----
	(c) as per site	: -----
5	Deductions for	:
	(a) Proposed D.P./ D.P. Road widening Area/Service Road / Highway widening	: 71,995.27
	(b) Any D.P. Reservation area	: 1,13,251.58



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दुरध्वनी : ०२५० - २५२५१०१ / ०२/०३/०४/०५/०६

फॅक्स : ०२५० - २५२५१०७

ई-मेल : vasaivirarcorporation@yahoo.com

जायक क्र.: व.वि.श.म.

दिनांक :

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	(Total a+b)	:	1,85,246.85
6	Balance area of plot (4-5)	:	2,88,938.15
6a	CRZ IA	:	7,903.31
6b	CRZ II	:	40,593.89
6C	Non CRZ	:	2,40,440.95
7	Amenity Space (If applicable)	:	
	(a1) Required CRZ II	:	2,029.69
	(a2) Required NON CRZ	:	12,022.05
	(a) Required Total	:	14,051.74
	(b) Adjustment of 5(b), If any -	:	0.00
	(c) Balance Proposed -	:	14,051.74
8	Net Plot Area (6-7(a2))	:	2,28,418.90
9	Recreational Open space (If applicable)	:	
	(a1) Required - (CRZ II)	:	8,118.78
	(a2) Required - (NON CRZ)	:	22,841.89
	(a) Required Total	:	30,960.67
	(b) Proposed	:	31,086.52
10	Internal Road area	:	0.00
11	Plotable area (If applicable)	:	0.00
12 a	Built up area with reference to Basic F.S.I. as per front road width (Sr. No. 8xbasic FSI) (CRZ II)	:	34,504.81
12 b	Built up area with reference to Basic F.S.I. as per front road width (Sr. No. 8xbasic FSI) (NON CRZ)	:	2,51,260.79
13	Addition of FSI on payment of premium	:	
	(a) Maximum permissible premium FSI - based on road width / TOD Zone.	:	0.00
	(b) Proposed FSI on payment of premium.	:	17,262.92
14	In-situ FSI / TDR loading	:	
	(a) In-situ area against D.P. road [2.0 x Sr. No. 5 (a)], If any	:	39,889.88
	(b) In-situ area against Amenity Space If handed over [2.00 or 1.85 x Sr. No. 7 (b) and /or (c)],	:	0.00
	(c) TDR area	:	0.00
	(d) Total In-situ / TDR loading proposed (14 (a)+(b)+(c))	:	0.00
15	a) Permissible Additional FSI area under Chapter No. 7[(4e*1.90)-(13b+14d)]	:	5,50,061.35
	b) Proposed Additional FSI area under Chapter No. 7	:	3,41,500.00
16	Total entitlement of FSI In the proposal	:	
	(a) [12 + 13(b)+14(d)] or 15 whichever is applicable.	:	6,84,418.40
	(a1) Approved BUA as per old DCR Retained	:	1,19,759.32
	(a2) Balance FSI	:	5,64,659.08
	(b) Common area FSI upto 60% or 80% with payment of charges.	:	3,38,795.45
	(c1) Additional Permissible BUA	:	9,03,454.53
	(c) Total entitlement (a+b)	:	10,23,213.85
	(d1) Approved BUA as per UDCPR Retained	:	9,01,702.32
	(d2) Now Proposed Amended BUA	:	1,228.83



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(e) Total Proposed BUA as per UDCPR	:	9,02,931.15
(f) Total Proposed BUA	:	10,22,690.47

Reservation Plot Performa-I (B)				
Sr. No.	Designation of Site	H.S. (543) Area (SQ.M.)	P.S. (544) Area (SQ.M.)	LWC (542) Area (SQ.M.)
1	Area of plot (Minimum area of a, b, c to be considered)			
	(a) As per ownership document (7/12, CTS extract)	15758.60	4623.91	20908.85
2	Net Plot Area (1)	15758.60	4623.91	20908.85
3	Built up area with reference to Basic F.S.I. as per front road width (Sr. No. 1(a)x basic FSI)	17334.46	5086.30	22999.74
4	Permissible Payment of Premium a) 1(a)*0.50)	7879.30	2311.96	10454.43
5	Proposed Payment of Premium	4000.00	Not Claim	Not Claim
6	Total entitlement of FSI in the proposal			
	(a) [3 + 4(a) or (b)+5]	21334.46	5086.30	22999.74
	(b) Permissible Common area FSI upto 60% or 80%with payment of charges.	12800.68	3051.78	13799.84
	(b1) Proposed Common area FSI upto 60% or 80%with payment of charges.	12800.68	0.00	2975.00
	(c) Total entitlement (5a+5b1)	34135.14	5086.30	25974.74
	(d) Approved BUA (31/03/2023)	26590.12	0.00	25967.75
	(e) Now Proposed BUA	7488.12	2437.61	0.00
	(f) Total Proposed BUA	34078.24	2437.61	25967.75
	(f1) LWC building no. 1	--	--	4,165.52
	(f2) LWC building no. 2	--	--	4,012.39
	(f3) LWC Welfare Center (Nursing Home)	--	--	3,638.87
	(f4) Community Center Building no.2	--	--	1,073.39
	(f5) Ancillary Building	--	--	5,546.69
	(f6) Community Center -1 (Hospital-1)	--	--	1,757.76
	(f7) Community Center -1 (School)	--	--	5,414.57
	(f8) Community Center -1 (Cafeteria)	--	--	358.56
	(f9) High School building - 1	24,955.15	--	--
	(f10) HS-2 Building no.1	8,130.93	--	--
	(f11) HS-2 Building no.2	992.16	--	--
	(f12) PS-1, Sector-III	--	2437.61	--
	<b>Total B</b>		<b>62483.60</b>	
	<b>Total (A+B)</b>		<b>10,85,174.07</b>	





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दुरध्वनी : ०२५० - २५२५१०१ / ०२/०३/०४/०५/०६

फॅक्स : ०२५० - २५२५१०७

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दिनांक :

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The commencement certificate shall remain valid for a period of one year for the particular building under reference from the date of its issue (As per Unified Development Control and Promotion Regulations-2020).

Please find enclosed herewith the approved Revised Development Permission for the proposed Residential, Residential with Shopline Buildings, R.O.S., Common Area, Commercial building, LWC building no. 1&2, LWC Welfare Center (Nursing Home), Community Center building no.1 (Hospital-1), Community Center building no.1 (School), Community Center building no.1 (Cafeteria), Community Center Building no.2, Ancillary Building, High School Building, Educational building In HS, School building No.1&2 on CFC-2, Informal Market & Primary School - 1 on land bearing S.No.62, H.No.1, 2/Pt., 3, 4, 5, 7, S.No.63, H.No.2/1, 2/2, 3, S.No.64, H.No.2, 3, S.No.65, S.No.68, H.No.1, 2 & 3, S.No.69, H.No.1, 2, 3, 4, 5, S.No.72, S.No.73, S.No.75, H.No.1, 2/1, 2/2, 3, 4, 5, 7, S.No.76, S.No.77, H.No.1, 2, 3, 4, 5, 6, 7, S.No.81, H.No.1, 2, 4, 5, 6, 7, 8, 9, 10, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, S.No.82, H.No.1, 2, 3/2, 3/3, 4, 5, 6, 7, 8/1, 9, 10, S.No.83, H.No.1/Pt., S.No.84, H.No.1, 2, 3, 4, 6/Pt., 7/Pt., 10, 11, 12, S.No.85, H.No.1/1, 1/2, 1/4, 1/8, 3B, 6, 7, 9, 10 & 12, S.No.87, H.No.1A, 1B, 1C, 2A, 2B, 3 & 7, S.No.88, H.No.1A, 1B, 2A & 2B, 4 & 5, S.No.89, H.No.1, 2 & 4, S.No.271, S.No.272, S.No.273, S.No.274, H.No.1, 2, 3, S.No.275, H.No.1, 2, 3, S.No.276, H.No.1, 2, 3, 4, 5, S.No.277, H.No.1, 2 & 3, S.No.278, H.No.1, 2, 3, 4, S.No.279, H.No.1 & 2, S.No.280, H.No.1, 2, 3, 4, 5 Vill: Gokhiware, Tal: Vasal, Dist: Palghar as per the following details:-



Predominant Building	Bldg No.	Wings	No. of Floors	No. of Flats	No. of Shop/Off./Store/Hall	Approved Existing BUA (Sq.mt.)	FSI Area	Non FSI Area (Ancillary)	Built Up Area (sq. mt.)	Remarks
<b>Sector-I</b>										
Residential	1	A	G + 30 (P1+P2+P3)	138	NII	0.00	9104.64	5462.78	14567.42	No Change
Resi with shop		B		115	5	0.00	7697.15	4618.29	12315.44	No Change
Resi with shop		C		85	4	0.00	5132.71	3079.62	8212.33	No Change
Resi with shop		D		114	8	0.00	7692.47	4615.48	12307.95	No Change
Resi with shop		E		137	5	0.00	9113.91	5468.35	14582.26	No Change
Residential	2	A	G+4	28	NII	0.00	1142.34	685.41	1827.75	No Change
Residential		B	G+28+Terrace+	351	4	0.00	14830.89	8898.53	23729.42	No Change
Resi with shop		C	(P1)							
Resi with shop		D	G+23	88	6	0.00	2979.33	1787.60	4766.92	No Change
Resi with shop		E	G+27	----	----	----	----	----	0.00	Deleted
Resi with shop		F	G+27	----	----	----	----	----	0.00	Deleted
Resi with shop		G	G+27	----	----	----	----	----	0.00	Deleted
Resi with shop	3	A	G+P1+P2+P3+29	227	14	0.00	10485.04	6291.02	16776.06	No Change
Resi with shop		B		145	11	0.00	7103.76	4262.26	11366.02	No Change
Resi with shop		C		227	9	0.00	10381.88	6229.13	16611.01	No Change
Residential		D		227	NII	0.00	9721.81	5833.08	15554.89	No Change
Residential		E		145	NII	0.00	7208.97	4325.38	11534.35	No Change
Resi with shop		F		174	7	0.00	8577.66	5146.60	13724.26	No Change
Residential	4A	A	G+23/Pt	283	NII	0.00	7892.49	4735.50	12627.99	Now Amendmen

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Resi with shop	4	A&B	G+23	348	8	0.00	10939.53	6563.72	17503.25	Now Amendmen
Residential	5A	A	G+31 (P1+P2)	174	Nil	0.00	7692.38	4615.43	12307.81	No Chang
Residential	5	A	G+31 (P1+P2)	232	Nil	0.00	8499.61	5099.76	13599.37	No Chang
Residential		B	G+31 (P1+P2)	232	Nil	0.00	8499.61	5099.76	13599.37	No Chang
Residential		C	G+31 (P1+P2)	232	Nil	0.00	8455.34	5073.21	13528.55	No Chang
Resi with shop		D	G+31 (P1+P2)	232	11	0.00	11148.89	6689.34	17838.23	No Chang
Resi with shop		E	G+31 (P1+P2)	232	14	0.00	11187.81	6712.69	17900.50	No Chang
Resi with shop	6	A & B	G+14/pt	183	18	7417.19	0.00	0.00	7417.19	Part OC granted / No change
Resi with shop	7	A to E	G+14	318	16	14338.19	0.00	0.00	14338.19	OC grante
Residential	8	A	G+14	56	Nil	0.00	2584.40	1003.72	3588.12	OC grante
Residential		B	G+14	56	Nil	0.00	2584.40	1003.72	3588.12	OC grante
Residential		C	G+14	166	O-1	3252.48	34.92	20.95	3308.35	OC granted No Change
Residential		D	G+14			3542.34	0.00	0.00	3542.34	OC grante
Resi with shop		E	G+14	84	9	0.00	3364.48	1271.47	4635.95	OC grante
Resi with shop		F	G+14	56	6	0.00	1886.78	1132.07	3018.84	No Chang
Resi with shop		G&H	G+19	182	S-6,O-1	0.00	7481.58	4488.95	11970.52	No Chang
R.O.S.		----	Stilt+1	1- Club House			104.08	62.45	166.53	No Chang
Residential		I	G+23	150	Nil	0.00	5430.04	3258.03	8688.07	No Chang
Residential		J	G+23	128	Nil	0.00	4304.99	2583.00	6887.99	No Chang
Residential		K	G+23	131	Nil	0.00	5256.98	3154.19	8411.17	No Chang
Residential		L	G+23	131	Nil	0.00	5256.98	3154.19	8411.17	No Chang
Resi with shop		M	G+23	128	10	0.00	4483.48	2690.09	7173.56	No Chang
Resi with shop		N	G+23	150	14	0.00	5624.54	3374.73	8999.27	No Chang
Resi with shop		O	G+23	150	1	0.00	5995.81	3597.49	9593.30	No Chang
Resi with shop	P	G+23	150	12	0.00	5717.57	3430.54	9148.11	No Chang	
Resi with shop	Q	G+23	150	12	0.00	5717.07	3430.24	9147.31	No Chang	
Resi with shop	9	A	G+22 (P1+P2)	143	20	6457.00	1429.77	857.86	8744.63	No Chang
Resi with shop		B	G+22 (P1+P2)	143	20	6457.00	1429.77	857.86	8744.63	No Chang
Residential		C	G+22 (P1+P2)	80	Nil	3129.00	670.88	402.53	4202.40	No Chang
Resi with shop		D	G+22 (P1+P2)	124	22	6189.69	1138.29	682.98	8010.96	No Chang
Resi with shop		E	G+22 (P1+P2)	82	10	4159.17	798.09	478.86	5436.12	No Chang
Resi with shop		F	G+22 (P1+P2)	123	15	5266.07	1318.06	790.84	7374.97	No Chang
Residential		G	G+22 (P1+P2)	146	Nil	6257.01	1449.57	869.74	8576.32	No Chang
Residential		H	G+22 (P1+P2)	164	Nil	5391.35	5353.17	3211.90	13956.42	No Chang
Common Area			G + 2	---	---	0.00	199.26	119.55	318.81	No Chang
Residential		10	A	G+33	147	Nil	5211.70	6917.82	4150.69	16280.21
Resi with shop	B		(P1+P2+)	122	5	8515.33	2890.75	1734.45	13140.53	No Chang



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दुरध्वनी : ०२५० - २५२५१०१ / ०२/०३/०४/०५/०६  
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Resi with shop		C	P3+P4)	91	4	4575.70	2633.08	1579.85	8788.63	No Change
Resi with shop		D		122	8	4477.19	5496.03	3297.62	13270.83	No Change
Resi with shop		E		147	5	3411.06	7545.07	4527.04	15483.17	No Change
Sector - II										
Resi with shop	1	A&B	G+14	220	16	0.00	6070.59	3642.35	9712.94	No Change
Resi with shop	2	A&B	G+9	142	16	0.00	4000.65	2400.39	6401.04	OC grante
Sector- III										
Resi with shop	1	A	G+18	108	12	0.00	3880.99	2328.59	6209.58	No Change
Resi with shop		B	G+16	125	12	0.00	4002.98	2401.79	6404.76	No Change
Residential		C	G+14	82	Nil	0.00	3038.50	1272.10	4310.60	No Change
Resi with shop		D	G+16	125	12	0.00	4964.96	2040.57	7005.53	No Change
Resi with shop		E	G+18	105	7	0.00	3664.08	2198.45	5862.53	No Change
Resi with shop		F	G+23	161	14	0.00	7358.03	4414.82	11772.84	No Change
Residential		G	G+23	92	Nil	0.00	3091.13	1854.68	4945.80	No Change
Resi with shop	2	A	Stilt+G+14	110	14	4378.02	0.00	0.00	4378.02	No Change
Resi with shop		B	Stilt+G+14	50	S-6, O-4	2258.2	0.00	0.00	2258.20	No Change
Residential		C	G+23	180	Nil	0.00	6370.53	3822.32	10192.85	No Change
Residential		D	G+27	241	Nil	0.00	9842.93	5905.76	15748.69	No Change
Residential		E	G+23 (P1)	92	8	0.00	5041.77	3025.06	8066.83	Now Amendmen
Residential		F	G+23 (P1)	157	10	0.00	5772.24	3463.35	9235.59	Now Amendmen
Resi with shop		G	G+23 (P1)	90	6	0.00	3095.33	1857.20	4952.52	No Change
Resi with shop		H	G+23 (P1)	156	15	0.00	6246.59	3747.96	9994.55	No Change
Resi with shop		I	G+23 (P1)	157	12	0.00	5814.08	3488.45	9302.53	No Change
Resi with shop		J	G+24 (P1)	141	10	0.00	6203.34	3722.00	9925.34	Now Amendmen
Common Area (Wings E to J)			G + 2	---	---	0.00	251.24	150.74	401.98	No Change
Residential	3	A	G+16	93	Nil	0.00	3609.35	1406.99	5016.34	No Change
Resi with shop		B	G+16	89	S-6, Clinic-1	0.00	4187.34	1429.68	5617.02	No Change
Resi with shop		C&D	G+16	188	7	0.00	6451.70	2693.20	9144.90	No Change
Residential		E	G+P1+P2 +22	432	17	0.00	16269.79	9761.88	26031.67	Now Amendmen
Residential	4	A	Stilt+23	180	Nil	6200.36	0.00	0.00	6200.36	No Change
Resi with shop		B	B+S+G+18	102	S-14, Store-7	4124.60	0.00	0.00	4124.60	No Change
Resi with shop		C	B+S+G+18	102	S-16, Store-7	4750.67	0.00	0.00	4750.67	No Change
Resi with shop		D&E	B+G+21	220	S-9, Store-1	0.00	10358.74	6215.24	16573.98	Newly Adde
Resi with shop	5	A	G+33(P1)	283	9	0.00	8928.61	5357.16	14285.77	No Change
Resi with shop		B	G+33(P1)	219	17	0.00	7387.06	4432.24	11819.30	No Change
Sector - IV										
Resi with shop	1	A	G+33(P1)	283	11	0.00	9243.55	5546.13	14789.68	No Change
Residential		B	G+33(p1)	283	Nil	0.00	9975.53	5985.32	15960.85	No Change
Resi with shop		D	G+23	90	6	0.00	3057.29	1834.37	4891.66	No Change
Residential	2	A	----	Nil	Nil	0.00	0.00	0.00	0.00	Future Provision
Residential		B	----	Nil	Nil	0.00	0.00	0.00	0.00	Future



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										Provision
<b>Sector-V</b>										
Resi with shop	1	A	G+31 (P1+P2+ P3)	206	5	0.00	9302.31	5581.39	14883.70	No Change
Commercial	5	--	G+5	Nil	Comm-1 O-19, Rest-1	0.00	1703.10	1021.86	2724.96	Now Amendmen
Commercial	5A	--	G+1	Nil	6	0.00	566.90	340.14	907.04	No Change
Resi with shop	6	A	B+G+19 (P1+P2+ P3)	110	24	0.00	6317.03	0.00	6317.03	Now Amendmen
Resi with shop		B	B+G+19 (P1+P2+ P3)	108	24	0.00	5877.84	0.00	5877.84	Now Amendmen
Residential		C	G+18 (P1+P2+ P3)	84	Nil	0.00	3727.05	0.00	3727.05	Now Amendmen
Resi with shop	7	A	B+G+18 (P1+P2+ P3)	143	S-16, O-2	0.00	7407.27	0.00	7407.27	Now Amendmen
Residential		B	G+18 (P1+P2+ P3)	115	Nil	0.00	5541.00	0.00	5541.00	Now Amendmen
Resi with shop	8	A	G+23	88	4	0.00	3153.17	1891.90	5045.07	No Change
Resi with shop		B	G+23	156	4	0.00	5861.73	3517.04	9378.77	No Change
Resi with shop		C	G+23	128	7	0.00	4866.39	2919.84	7786.23	No Change
Resi with shop		D	G+23	128	5	0.00	4710.73	2826.44	7537.17	No Change
Resi with shop		A1	G+23	84	4	0.00	3234.24	1940.54	5174.78	No Change
Common Area		---	G+2	---	---	0.00	56.63	33.98	90.60	No Change
Resi with shop	9	A	G+20 (P1+P2)	72	S-7, O-4	0.00	3878.61	2327.17	6205.78	Now Amendmen
Residential		B	G+20 (P1+P2)	75	Nil	0.00	3475.95	2085.57	5561.52	Now Amendmen
Residential	10	A	G+23	131	Nil	0.00	4801.64	2880.99	7682.63	No Change
Resi with shop		B	G+23	156	S-12, Nursing Home-1	0.00	7243.89	4346.33	11590.22	No Change
Resi with shop		C	G+23	177	12	0.00	6365.74	3819.44	10185.18	No Change
Resi with shop		D	G+23	133	12	0.00	4849.81	2909.88	7759.69	No Change
Resi with shop		E	G+23	90	6	0.00	3041.50	1824.90	4866.40	No Change
Resi with shop		F	G+23	133	8	0.00	4887.63	2932.58	7820.20	No Change
Residential		G	G+23	177	Nil	0.00	6209.38	3725.63	9935.01	No Change
Common Area		----	----	----	----	0.00	174.11	104.47	278.58	No Change
Residential	11	H	G+7	28	Nil	0.00	988.83	593.30	1582.12	No Change
Resi with shop		A	G+23	135	13	0.00	5005.68	3003.41	8009.09	No Change
Resi with shop		A	G+23	139	10	0.00	5883.74	3530.24	9413.98	No Change
Resi with shop	13	A	G+7	28	8	0.00	919.05	551.43	1470.48	No Change
Informal Market		---	---	Nil	Nil	0.00	497.68	0.00	497.68	No Change
<b>Grand Total</b>						<b>119759.32</b>	<b>579313.48</b>	<b>323617.80</b>	<b>1022690.47</b>	





मुख्य कार्यालय, विरार  
विरार (पूर्व),  
ता. वसई, जि. पालघर - ४०१ ३०५.



दूरध्वनी : ०२५० - २५२५२०१ / ०२/०३/०४/०५/०६  
फैक्स : ०२५० - २५२५३०९  
ई-मेल : vasaivirarcorporation@yahoo.com

जावक क्र.: व.वि.श.म.  
दिनांक :

स्थापना : ३ जुलै २००९

VVC/MC/TP/RDP/VP-0329,0815&0509/274/2023-24										Date: 16/02/2024
Sector-I										
HS-1	1	----	Stilt+7	-----	---	17467.03	4680.08	2808.05	24955.15	Now Amendmen
HS-2	1	-----	G+7	-----	---	1816.77	3946.35	2367.81	8130.93	No Chang
HS-2	2	-----	G+2	-----	---	705.03	179.46	107.67	992.16	No Chang
Sector-II (Other)										
LWC	1	A	Stilt+9	71	NII	0.00	2072.82	0.00	2072.82	No Chang
		B	Stilt+9	62	NII	0.00	2092.70	0.00	2092.70	No Chang
LWC	2	A	Stilt+9	71	NII	0.00	1939.57	0.00	1939.57	No Chang
		B	Stilt+9	71	Nil	0.00	2072.82	0.00	2072.82	No Chang
LWC Welfare Centre (Nursing Home)	1	-----	Stilt+G+7	---	---	0.00	3638.87	0.00	3638.87	No Chang
Community Centre	2	-----	Stilt+G+3	-----	Hall-3	0.00	1073.39	0.00	1073.39	No Chang
Community Centre-1	Hospital-1	B+G+1	----	---	---	0.00	1098.60	659.16	1757.76	Newly Adde
Community Centre-1	School	G + 7	----	---	---	0.00	3384.11	2030.46	5414.57	Newly Adde
Community Centre-1	Cafeteria	G + 1	----	---	---	0.00	224.10	134.46	358.56	Newly Adde
Residential Ancillary	1	A&B	G+14	163	NII	0.00	5021.80	524.89	5546.69	Part OC granted / N Change
Sector-III										
PS-1	1		G+1	----	----	0.00	1523.51	914.10	2437.61	Newly Adde
Grand Total						19988.83	32948.17	9546.60	62483.60	
						139748.15	612261.65	333164.40	1085174.07	

The revised plan duly approved herewith supersedes all the earlier approved plans. The conditions of Commencement Certificate granted vide VVC/MC office letter No. CIDCO/VVSR/TP/CC/VP-0329, 0815 & 0509/1065/2012-13 dt.10/07/2012 stands applicable to this approval of amended plans along with the following conditions:



- 1) This revised plan is valid for one year from the date of issue of commencement certificate for each building distinctively. The revalidation shall be obtained as per section 48 of MRTP Act, distinctively for each building.
- 2) The Occupancy Certificate for the buildings will be issued only after provision of potable water is made available to each occupant.
- 3) Notwithstanding anything contained in the commencement certificate condition it shall be lawful to the planning authority to direct the removal or alteration of any structures erected or use contrary to the provisions of this grant within the specific time.
- 4) The commencement certificate shall remain valid for a period of one year for the particular building under reference from the date of its issue (Clause 2.7.1 of Unified Development Control and Promotion Regulations-2020).
- 5) You shall submit detailed proposal in consultation with Engineering Department, Municipal Corporation for rain water harvesting and solid waste disposal to treat dry and organic waste separately by design department.
- 6) You shall construct the compound wall /Retaining as per site condition which will be design & supervised by certified structural engineer before Plinth Completion Certificate.

VVCMC/TP/RDP/VP-0329,0815&0509/ 274/2023-24

Date: 16/02/2024

- 7) You shall provide the Rain Water Harvesting systems as per Govt. notification No.TBA-432001/2133/CR-230/01/UD-11 dtd. 10/03/2005 & TPB-4307/396/CR-24/2007/UD-11 dtd. 06/06/2007 by appointing the Rain Water Consultants empanelled by VVCMC. Occupancy Certificate shall be granted after certification of Rain Water Harvesting systems by said empanelled consultant of VVCMC.
- 8) You have to fix a board of public notice regarding unauthorized covering of marginal open spaces before applying for occupancy certificate of next building as per the format finalized by Municipal Corporation.
- 9) You shall transport all the construction material in a good transport system and the material shall not be stacked in unhygienic / polluting condition/on road without permission of VVCMC.
- 10) You shall see that water shall not be stored to lead to unhygienic conditions like mosquito breeding/disease prone conditions.
- 11) You shall provide drainage, sewerage, water storage systems strictly to the satisfaction of Vasai-Virar City Municipal Corporation. Else occupancy certificate shall not be granted to you, which may please be noted.
- 12) You shall develop the access road to the satisfaction of Vasai-Virar City Municipal Corporation as per the width as shown in the approved plan (D.P. Road/ access obtained as the case may be) before applying for Plinth Completion Certificate. You shall give detailed engineering report comprising reclamation level to be maintained, Storm Water drainage systems, sewerage systems and water supply (tank sizes etc) before applying for Plinth Completion Certificate.
- 13) You shall construct cupboard if any, as per UDCPR Regulation.
- 14) You shall provide Mosquito proof treatment in order to avoid Mosquito breeding to the satisfaction of VVCMC. Occupancy Certificate will not be granted if Mosquito treatment is not provided by providing Dr. Major Covells system of Mosquito proofing to control Malaria to the satisfaction of VVCMC.
- 15) You shall provide two distinct pipelines for potable and for non-potable water.
- 16) You shall submit subsoil investigation report for structural stability & Rain water harvesting purpose before Plinth completion Certificate.
- 17) You are responsible for the disputes that may arise due to Title/ Access matter. Vasai-Virar City Municipal Corporation is not responsible for any such disputes.
- 18) You shall provide flush tanks in all W.C/Toilets with dual valve system.
- 19) You shall do structural Audit for the buildings under reference after 30 years of completion as per Government of Maharashtra Act No.6 of 2009.
- 20) You shall plant the plants by taking the sapling/Plants available with Vasai Virar City Municipal Corporation. You shall contact DMC, Vasai-Virar City Municipal Corporation and shall plant the same as will be directed by DMC, VVCMC under intimation to this office.
- 21) You are responsible for obtaining various permissions from other authorities subsequent to grant of permission like revised N.A order, PWD NOC, NOC from Highway Authority, NOC from Railway, NOC from MSEB, NOC from Eco Sensitive Zone, TWLS, MOEF, CRZ/wetlands etc., as may be applicable and N.A TILR as required as per N.A order and other applicable compliances. If any of the compliances as per other Dept/Acts/ requirements are not done, only you shall face the consequence arising out of such lapse from your side and VVCMC is not responsible for the lapses from your side.





मुख्य कार्यालय, विरार  
विरार (पूर्व),  
ता. वसई, जि. पालघर - ४०१ ३०५.



दुरध्वनी : ०२५० - २५२५१०१ / ०२/०३/०४/०५/०६

फॅक्स : ०२५० - २५२५१०७

ई-मेल : vasaivirarcorporation@yahoo.com

जाचक क्र.: व.वि.श.म.

दिनांक :

VVCMC/TP/RDP/VP-0329,0815&0509/274/2023-24

Date: 16/02/2024

- 22) You are responsible for complying with all conditions of N.A. order/sale permission / other permissions of other authorities including MOEF/CRZ/wetlands, TWLS etc. In case of any violation with reference to conditions of N.A. order / permissions of other Authorities, only you shall be responsible for the said violation and the same may call for actions by Concerned Authority as per their statutory provisions. Vasai Virar City Municipal Corporation has no role in the said matters. However, if any conditions pertaining to validity of said orders are not complied like validity of N.A. order etc. Only you are liable for any actions as may be contemplated by the said authority notwithstanding the permission granted by VVCMC as the same need to be ensured by Concerned Authority.
- 23) You shall take all precautionary measures as per various statutory provisions including provisions as contained in National Building code of India in order to avoid injury/loss to lives and property during construction and till the property is handed over to the subsequent legitimate owner of the property. If any such incident occurs you are responsible for the same and VVCMC is not responsible for your negligence, in providing various precautionary measures to avoid accidents leading to loss of life, injury or loss of property
- 24) The responsibility of obtaining any other statutory NOC as per other acts shall be with the applicant.
- 25) You shall provide separate dust bins per wing of buildings for Dry & Wet waste & Composting unit as per MSW rules 2016 prior to Occupancy Certificate.
- 26) You shall abide by all conditions mentioned in MSW rules 2016 and guidelines/order about Solid Waste Management which needs to be implemented in your proposal from time to time as instructed by this office as per Swachh Bharat Mission and guidelines from VVCMC and State/Central Govt. You shall submit compliance report regarding the above before approaching this office for grant of Occupancy Certificate
- 27) VVCMC has asked IIT-Bombay and NEERI to prepare Comprehensive flood management plan by reviewing current development plan and past studies. The applicant shall have to adhere and do the necessary implementation as per recommendations of IIT Bombay and NEERI for flood management of Vasai Virar Sub region affecting for your layout.
- 28) You will be liable to pay any charges/areas with applicable interest for your proposal as and directed by VVCMC/any other competent authority.
- 29) You shall provide temporary toilet Blocks at site for labours/ Workers for the ongoing construction activity. The temporary constructed toilets blocks shall be demolished before final Occupancy Certificate.
- 30) You shall provide Solar Assisted water heating SWH system to said layout if applicable.
- 31) Fire Infrastructure charges to be paid as per guidelines from Govt. of Maharashtra.
- 32) Right to access agreement shall be submitted before Commencement of work failing to which this Commencement Certificate stands invalid.
- 33) You should provide lightening resistant system and produce the Certificate from Licensed agency for each building at the time of Occupancy Certificate.
- 34) You shall dispose of the debris/Material generated by demolition of the existing structures to the appropriate locations as specified by VVCMC and shall submit the Geo tagged photos regarding the same before Commencement of work at site,



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failure to do so if not will compel us to impose fine as per the directive of Hon'ble High Court in PIL 3/2023.

- 35) You shall provide Grey Water recycling as per clause 13.4 of UDCPR failure to provide Grey Water recycling as per clause 13.4 of UDCPR will compel us to take necessary actions including refusal of Occupancy to the buildings
- 36) As you shall provide STP as per MPCB letter dtd. 19/12/2023 if the Sewage generation is above 10 CMD. If the same is not provided Occupancy Certificate will not be granted to the buildings.
- 37) You shall be legally responsible for taking care of provisions of RERA in respect of present amendment where third party rights are created by way of registered agreement for sale or lease of apartment by taking consent from interested party or persons. Any disputes that may arise due to violation of said provisions Vasai Virar City Municipal Corporation is not responsible for such disputes.
- 38) If any legal matter arises at any Civil/Criminal Courts or in Hon'ble High Court, any revenue/co-operative court or with any Govt. Authority like Police, NCILT, ED, etc., the said permission stand cancelled without giving prior notice or opportunity being heard.
- 39) The responsibilities of Architect, Licensed Engineer and Structural Engineer shall be as per C-2.3, C-3.3, C-4.3, C-8.3 of UDCPR if any of the responsibilities are violated the eventuality shall be faced by the concerned technical person accordingly.
- 40) All conditions mentioned in previous approval are binding on you.
- 41) You shall obtain Revised Tree NOC for additional Land within the period of one month from the date of issue, if not the said permission stands cancelled without giving prior notice or opportunity being heard.
- 42) You shall develop balance reservation (Garden Site No.545, PS Site No.544, PG Site No.546, LWC Site No.542, H.S Site No.543) as per the affidavit submitted by you which is intended to be developed by you.
- 43) You shall submit Revised environment clearance from MoEF and Consent to establish from MPCB for additional area including amalgamated parcel before commencement of work of additional land area no construction can be started, If this condition is violated the said order stands cancelled without giving the notice even under natural justice and opportunity of being heard.
- 44) You shall submit Revised / Consolidated TILR within the period of three months from the date of issue. If not the said permission stands cancelled without giving prior notice or opportunity being heard.
- 45) You shall submit N.A. Receipt for additional land parcel prior to commencement of work on additional land, If not the said permission stands cancelled without giving prior notice or opportunity being heard.
- 46) You shall obtained legal advisor Remark for additional land parcel within the period of three months from the date of issue or before commencement of work whichever is earlier, if not the said permission stands cancelled without giving prior notice or opportunity being heard.
- 47) You shall obtain Fire NOC from CFO/Director of Fire Services within 3 months from date of issue, if not the said permission stands cancelled without giving prior notice or opportunity being heard.



मुख्य कार्यालय, विरार  
विरार (पूर्व),  
ता. वसई, जि. पालघर - ४०१ ३०५.



दुरध्वनी : ०२५० - २५२५१०१ / ०२/०३/०४/०५/०६

फैक्स : ०२५० - २५२५१०९

ई-मेल : vasaivirarcorporation@yahoo.com

जावक क्र.: व.वि.श.म.

दिनांक :

VVCMC/TP/RDP/VP-0329,0815&0509/ 274/2023-24

Date: 16/02/2024

- 48) You shall obtain NOC form DFCL & MAHSR for concerned buildings with in three month from date of issue, if found any then said permission stands cancelled without giving prior notice or opportunity being heard.
- 49) You shall submit right of access for ROS No.3 in Sector-II before commencement of work, if not the said permissions stands cancelled without giving prior notice or opportunity being heard.
- 50) You shall obtained NOC from MSEDCL (High Tension Line) before commencement of work for affected area, if not the said permission stands cancelled without giving prior notice or opportunity being heard.
- 51) If any legal matter arises at any Civil/Criminal courts or in Hon'ble High Court, any revenue/co-operative court or with any Govt. Authority like Police, NCILT, ED, etc., the said permission stand cancelled without giving prior notice or opportunity being heard.
- 52) The premium charges as well labour cess charges which are pending to be deposited on prescribed due dates, if not the said order / permission stands cancelled without giving prior notice or opportunity being heard.
- 53) You shall abide to the condition of CRZ clearance issued by MCZMA, if not the said order / permission stands cancelled without giving prior notice or opportunity being heard.
- 54) You shall obtain clearance from MCZMA for area under water bodies (Channel) Reservation before handing over at said reservation to VVCMC.
- 55) Any breach of any condition mentioned above and not complied in given timelines will lead to cancellation of this order without giving any notice or any opportunity to be heard by following natural justice.



Encl.: a/a.

c.c. to: Asst. Commissioner, UCD,  
Vasai-Virar city Municipal Corporation.  
Ward office .....

sal/  
Commissioner

Vasai Virar City Municipal Corporation

Certified that the above permission is  
issued by Commissioner VVCMC, Virar.

Deputy Director,  
VVCMC, Virar.



ENVIRONMENTAL  
CLEARANCE

PARIVESH

(Pro-Active and Responsive Facilitation by Interactive,  
and Virtuous Environmental Single-Window Hub)



Government of India  
Ministry of Environment, Forest and Climate Change  
(Issued by the State Environment Impact Assessment  
Authority(SEIAA), MAHARASHTRA)

To,

The Owner

RASHMI AMEYA DEVELOPERS HOUSING & ESTATE REALTORS PVT.  
LTD.

DI/DII, Ground Floor, Aakanksha Commercial Complex, Opp. Sajawat  
Complex, Achole Road, Nalasopara, Vasai -401203

**Subject:** Grant of Environmental Clearance (EC) to the proposed Project Activity  
under the provision of EIA Notification 2006-regarding

Sir/Madam,

This is in reference to your application for Environmental Clearance (EC)  
in respect of project submitted to the SEIAA vide proposal number  
SIA/MH/INFRA2/422777/2023 dated 25 Mar 2023. The particulars of the  
environmental clearance granted to the project are as below.

- |   |  |
|---|--|
| 1. EC Identification No.                      | EC23B038MH139617   |
| 2. File No.                                   | SIA/MH/INFRA2/422777/2023  |
| 3. Project Type                               | Expansion  |
| 4. Category                                   | B  |
| 5. Project/Activity including<br>Schedule No. | Brick Building and Construction projects   |
| 6. Name of Project                            | Application for Terms of Reference for<br>Amendment and Expansion in EC for<br>Residential cum commercial project at<br>Village: Gokhiware, Tal: Vasai, Dist.:<br>Palghar by Rashmi Ameya Developers<br>Housing & Estate Realtors Pvt. Ltd |
| 7. Name of Company/Organization               | RASHMI AMEYA DEVELOPERS<br>HOUSING & ESTATE REALTORS PVT.<br>LTD.  |
| 8. Location of Project                        | MAHARASHTRA  |
| 9. TOR Date                                   | N/A  |

The project details along with terms and conditions are appended herewith from page  
no 2 onwards.

Date: 21/07/2023

(e-signed)  
Pravin C. Darade, I.A.S.  
Member Secretary  
SEIAA - (MAHARASHTRA)

Note: A valid environmental clearance shall be one that has EC identification  
number & E-Sign generated from PARIVESH. Please quote identification  
number in all future correspondence.

This is a computer generated cover page.



		Regd. Office address	DIII - 1 & 2, Aakanksha Commercial Complex, opp. Sajawat Complex, Achole Road, Nallasopara (East), Dist. Palghar
		Contact Number	250-2441010, 2442020
		E-mail	radhesai92@gmail.com
6	Consultant	<b>Mahabal Enviro Engineers Pvt. Ltd.</b> Accredited by NABET vide No. QCI/NABET/EIA/ACO/17/00427	
7	Applied for	Amendment/ Expansion in EC	
8	Location of the project	S.No. 62, H. No. 1,2/Pt., 3, 4, 5, 7, S. No. 63, H. No. 2/1, 2/2, 3, S. No. 64, H. No. 2, 3, S. No. 65, S. No. 68, H. No. 1, 2, 3, S. No. 69, H. No. 1, 2, 3, 4, 5, S. No. 72, S. No. 73, S. No. 75, H. No. 1, 2/1, 2/2, 3, 4, 5, 7, S. No. 76, S. No. 77, H. No. 2, 3, 4, 5, 6, 7, S. No. 81, H. No. 1, 2, 4, 5, 6, 8, 9, 10, 12, 13, 14, 15, 16, 17, 18, 19, 21, 22, 23, S. No. 82, H. No. 1, 2, 3/2, 3/3, 4, 5, 6, 7, 8/1, 9, 10, S. No. 83, H. No. 1/Pt., S. No. 84, H. No. 3, 4, 6/Pt., 7/Pt., 10, S. No. 85, H. No. 3B, 6, 7, 9, 10, 12, S. No. 87, H. No. 1A, 1B, 1C, 2A, 2B, 3, 7, S. No. 88, H. No. 1A, 1B, 2A, 2B, 4, 5, S. No. 89, H. No. 1, 2 & 4, S. No. 271, S. No. 272, S. No. 273, S. No. 274, H. No. 1, 2, 3, S. No. 275, H. No. 1,2,3, S. No. 276, H. No. 1, 2, 3, 4, 5, S. No. 277, H. No. 1, 2, 3, S. No. 278, H. No. 1, 2, 3, 4 S. No. 279, H. No. 1, 2, S. No. 280, H. No. 1, 2, 3, 4, 5 of Village Gokhiware, Tal. Vasai, Dist. Palghar, Maharashtra	
9	Latitude and Longitude	Latitude: 19°23'39.34"N Longitude: 72°50'53.52"E	
10	Plot Area (m <sup>2</sup> )	4,66,175.00 m <sup>2</sup>	
11	Deductions (m <sup>2</sup> )	1,82,929.55 m <sup>2</sup>	
12	Net Plot area (m <sup>2</sup> )	2,83,245.45 m <sup>2</sup>	
13	Ground coverage (m <sup>2</sup> ) & %	Ground coverage (m <sup>2</sup> ): 82,525.99 m <sup>2</sup> Ground coverage (%): 29.14% (against net plot)	
14	FSI Area (m <sup>2</sup> )	12,35,245.19 m <sup>2</sup>	
15	Non-FSI (m <sup>2</sup> )	4,41,376.37 m <sup>2</sup>	
16	Proposed built-up area (FSI + Non FSI) (m <sup>2</sup> )	16,76,621.56 m <sup>2</sup>	

3 (Wings G to L)	G+23	69.75	-	-	-	Deleted
4A (Wing A)	G+1	7.80	4A (Wing A)	G+23/Pt.	69.95	Change in planning - No work started
4A (Wings B to F)	G+1	7.80	-	-	-	Deleted
4 (Wings A & B)	G+23	69.75	4 (Wings A & B)	G+23	69.95	Change in planning - No work started
4 (Wings C & D)	G+23	69.75	-	-	-	Deleted
5A (Wing A)	G+23	69.75	5A (Wing A)	G+31 (P1+P2)	94.80	Change in planning - No work started
5A (Wings B & C)	G+23	69.75	-	-	-	Deleted
5 (Wings A to E)	G+23	69.75	5 (Wings A to E)	G+31 (P1+P2)	94.80	Change in planning - No work started
5 (Wing F)	G+23	69.75	-	-	-	Deleted
6 (Wings A & B)	G+14/pt	43.85	6 (Wings A & B)	G+14/pt	43.85	No change - Constructed on site
7 (Wings A to E)	G+14	43.85	7 (Wings A to E)	G+14	43.85	No change - Constructed on site
8 (Wings A to F)	G+14	43.85	8 (Wings A to F)	G+14	43.85	No change - Constructed on site
8 (Wings G & H)	G+14	43.85	8 (Wings G & H)	G+19	66.30	Change in plan- No work started
-	-	-	8 (R.O.S. -Club House)	Stilt+1	8.70	Newly Proposed - No work started

10 (Wing F)	G+23	69.75	-	-	-	Deleted
<b>Sector - II</b>						
1 (Wings A & B)	G+9	29.60	1 (Wings A & B)	G+14	43.85	Vertical Expansion- Addition of 5 Habitable Floors
2 (Wings A & B)	G+9	29.60	2 (Wings A & B)	G+9	29.60	No change- Constructed on site
<b>Sector - III</b>						
1 (Wing A)	G+18	55.50	1 (Wing A)	G+18	55.50	No change- Constructed on site
1 (Wing B)	G+16	49.80	1 (Wing B)	G+16	49.80	No change- Constructed on site
1 (Wing C)	G+16	49.80	1 (Wing C)	G+16	49.80	No change- Under Construction
1 (Wing D)	G+14	43.85	1 (Wing D)	G+16	49.80	Vertical Expansion- Addition of 2 Habitable Floors
1 (Wing E)	G+18	55.50	1 (Wing E)	G+18	55.50	No change- Constructed on site
1 (Wing F & G)	G+18	55.50	1 (Wing F & G)	G+23	69.75	Change in planning- No work started
2 (Wings A & B)	G+14	44.10	2 (Wings A & B)	Stilt/G+14	44.10	No change- Constructed on site
2 (Wing C)	G+18	55.50	2 (Wing C)	G+23	69.75	Vertical Expansion- Addition of 5 Habitable Floors
-	-	-	2 (Wing D)	G+27	81.15	Newly Proposed- No work started
-	-	-	2 (Wings E to J)	G+23	69.75	Newly Proposed- No work started



2 (Wings A & B)	G+14	44.10	-	-	-	Deleted
2	G+2	11.30	-	-	-	Deleted
<b>Sector - V</b>						
1 (Wings A to D)	G+1	7.80	1 (Wings A to D)	G+31 (P1+P2+P3)	96.00	Change in plan- No work started
1 (Wing E)	G+1	7.80	-	-	-	Deleted
2 (Wing A)	G+1	7.80	2 (Wing A)	G+31 (P1+P2)	94.80	Change in plan- No work started
2 (Wing B)	G+23	69.75	2 (Wing B)	G+31 (P1+P2)	94.80	Change in plan- No work started
2 (Wings C to E)	G+23	69.75	-	-	-	Deleted
3 (Wings A to E)	G+23	69.75	3 (Wings A to E)	G+30 (P1+P2+P3)	98.25	Change in plan- No work started
3 (Wing F)	G+23	69.75	-	-	-	Deleted
4 (Wings A to E)	G+23	69.75	4 (Wings A to E)	G+30 (P1+P2+P3)	98.25	Change in plan- No work started
4 (Wing F)	G+23	69.75	-	-	-	Deleted
-	-	-	5A (Office )	G+6	23.95	Newly Proposed- No work started
-	-	-	5A (Comm )	G+1	7.80	Newly Proposed- No work started
5 (Wings A to E)	G+1	7.80	-	-	-	Deleted
6 (Wings A to C)	G+23	69.75	6 (Wings A to C)	G+23	69.95	Change in plan- No work started
7 (Wings A & B)	G+23	69.75	7 (Wings A & B)	G+23	69.95	Change in plan- No work started



Row who use-10	G+2	11.30	-	-	-	Deleted
-	-	-	11 (Wing A)	G+23	69.75	Newly Proposed- No work started
-	-	-	12 (Wing A)	G+23	69.75	Newly Proposed- No work started
-	-	-	13 (Wing A)	G+7	23.95	Newly Proposed- No work started
<b>Sector - I Amenities</b>						
-	-	-	HS-1	G+7	26.60	Newly proposed- No work started
-	-	-	HS-2/1	G+7	26.60	Newly proposed- No work started
-	-	-	HS-2/2	G+7	26.60	Newly proposed- No work started
<b>Sector - II Others</b>						
LWC-1 (Wings A & B)	G+9	29.60	LWC-1 (Wings A & B)	Stilt+9	29.60	No change- Constructed on site
LWC-2 (Wings A & B)	G+9	29.60	LWC-2 (Wings A & B)	Stilt+9	29.60	No change- Constructed on site
Residential Ancillary (Wings A & B)	G+14	43.85	Residential Ancillary (Wings A & B)	G+14	43.85	No change- Constructed on site
<b>Sector - II Amenities</b>						
LWC (Nursing Home)	G+4	17.45	LWC (Nursing Home)	Stilt/G+7	30.00	Vertical Expansion addition of 3 Habitable Floors-No Work Started

	-	-	-	CFC-2	G+2	11.40	Newly Proposed- No work started
	-	-	-	Sports Club	Gr.	5.65	Newly Proposed- No work started
21	No. of Tenements & Shops, Offices, Stores, others			Flats: 19,214 Nos., Shops: 838 Nos., Stores: 14 Nos., Offices: 12 Nos., Others: 282 Nos. Class Room, 9 Nos. Hall, 254 Nos. Beds, 6 Nos. Food Court, 3 Nos. Sports, 5 Nos. Gym			
22	Total Population			95,377 Nos.			
23	Total Water Requirements CMD			12,340 KLD			
24	Under Ground Tank (UGT) location			Underground			
25	Source of water			Vasai Virar City Municipal Corporation.			
26	STP Capacity & Technology			25 STP's of 11,602 KLD capacity with MBBR Technology			
27	STP Location			Ground			
28	Sewage Generation CMD & % of sewage discharge in sewer line			Sewage Generation: 11,517 KLD % of sewage discharge in sewer line: 34%			
29	Solid Waste Management during Construction Phase			Type	Quantity (kg/d)	Treatment / disposal	
				Dry waste	80 kg/d	Handed Over to Authorized recycler	
				Wet waste	120 kg/d	Handed over to local body	
				Construction waste (m <sup>3</sup> )	43,150 m <sup>3</sup>	Disposed off at designated disposal site.	
30	Total Solid Waste Quantities with type during Operation Phase & Capacity of OWC to be installed			Type	Quantity (kg/d)	Treatment / disposal	
				Dry waste	18,125 kg/d	Handed over to Local Body	

The comparative statement showing the project details as per earlier EC and the proposed amendment is as follows:

S. No.	Particulars	As per earlier EC dt. 09.12.2021	Proposed Amendment/Expansion	Remarks
1.	Survey Nos.	S. No. 62, H. No. 1, 2/Pt., 3, 4, 5, 7, S. No. 63, H. No. 2/1, 2/2, 3, S. No. 64, H. No. 2, 3, S. No. 65, S. No. 68, H. No. 1, 2 & 3, S. No. 69, H. No. 1, 2, 3, 4, 5, S. No. 72, S. No. 73, S. No. 75, H. No. 1, 2/1, 2/2, 3, 4, 5, 7, S. No. 76, S. No. 77, H. No. 2, 3, 4, 5, 6, 7, S. No. 81, H. No. 2, 4, 5, 6, 8, 9, 10, 12, 13, 14, 15, 16, 17, 18, 19, 21, 22, 23, S. No. 82, H. No. 3/3, 5, 7, 8/1, 9, 10, S. No. 83, H. No. 1/Pt., S. No. 84, H. No. 3, 4, 6/Pt., 10 S. No. 85, H. No. 3B, 6, 9, 10 & 12, S. No. 87, H. No. 1A, 1B, 1C, 2A, 2B, 3 & 7, S. No. 88, H. No. 1A, 1B, 2A & 2B, S. No. 89, H. No. 1, 2 & 4, S. No. 271, S. No. 272, S. No. 273, S. No. 274, H. No. 1, 2, 3, S. No. 275, H. No. 1, 2, S. No. 276, H. No. 1, 2, 3, 4, 5, S. No. 277, H. No. 2 & 3, S. No. 278, H. No. 1, 2, 3, 4, S. No. 279, H. No. 1, S. No. 280, H. No. 1, 2, 3, 4, 5.	S. No. 62, H. No. 1, 2/Pt., 3, 4, 5, 7, S. No. 63, H. No. 2/1, 2/2, 3, S. No. 64, H. No. 2, 3, S. No. 65, S. No. 68, H. No. 1, 2, 3, S. No. 69, H. No. 1, 2, 3, 4, 5, S. No. 72, S. No. 73, S. No. 75, H. No. 1, 2/1, 2/2, 3, 4, 5, 7, S. No. 76, S. No. 77, H. No. 2, 3, 4, 5, 6, 7, S. No. 81, H. No. 1, 2, 4, 5, 6, 8, 9, 10, 12, 13, 14, 15, 16, 17, 18, 19, 21, 22, 23, S. No. 82, H. No. 1, 2, 3/2, 3/3, 4, 5, 6, 7, 8/1, 9, 10, S. No. 83, H. No. 1/Pt., S. No. 84, H. No. 3, 4, 6/Pt., 7/Pt., 10, S. No. 85, H. No. 3B, 6, 7, 9, 10, 12, S. No. 87, H. No. 1A, 1B, 1C, 2A, 2B, 3, 7, S. No. 88, H. No. 1A, 1B, 2A, 2B, 4, 5, S. No. 89, H. No. 1, 2 & 4, S. No. 271, S. No. 272, S. No. 273, S. No. 274, H. No. 1, 2, 3, S. No. 275, H. No. 1, 2, 3, S. No. 276, H. No. 1, 2, 3, 4, 5, S. No. 277, H. No. 1, 2, 3, S. No. 278, H. No. 1, 2, 3, 4, S. No. 279, H. No. 1, 2, S. No. 280, H. No. 1, 2, 3, 4, 5	Addition of Survey No. S. No.85 H. No.3B, 7, S. No. 88 H. No 4 & 5, S. No. 275 H. No. 3 S. No. 277, H. No. 1, S. No. 279, H. No. 2, (Survey No. which was earlier not in possession, now added into the plot.)
2	Total Plot Area (m <sup>2</sup> )	4,26,265.00	4,66,175.00	Addition of plot of 39,910 m <sup>2</sup> which was not



12	Solid waste generation	38,958 Biodegradable: 23,375 kg/day Non-Biodegradable: 15,583 kg/day	45,313 Biodegradable: 27,188 kg/day Non-Biodegradable: 18,125 kg/day	
13	Energy Requirement	Demand Load: 43 MW	Demand Load: 78.6 MW	Increased
14	DG Set	12,825 kVA	26,750 kVA	
15	RG Area	RG Provided: 51,070.15 m <sup>2</sup>	RG Provided: 30,572.34 m <sup>2</sup>	RG provided as per norms
16	Parking provided	4W: 4,838 2W: 15,228	4W: 5,136 2W: 24,969	As per the norms Increased
17	Project Cost	1,748.65	2,673.86	Increased by 925.21 Cr.

3. The proposal has been considered by SEIAA in its 260<sup>th</sup> (Day-1) meeting held on 09.06.2023 and decided to accord Environment Clearance to the said project under the provisions of Environment Impact Assessment Notification, 2006 subject to implantation of following terms and conditions-

**Specific Conditions:**

**A. SEAC Conditions-**

1. PP to submit IOD/IOA/Concession Document/Plan Approval or any other form of documents as applicable clarifying its conformity with local planning rules and provisions thereunder as per the circular dated 30.01.2014 issued by the Environment Department, Govt. of Maharashtra.
2. PP to obtain following NOCs & remarks as per amended plan:  
a) CFO NOC; b) Nalla Remark; c) DFCC NOC; d) Wetland Authority NOC; e) HTL NOC.
3. PP to submit compliance report of certified compliance report obtained from Regional Office, MOEF&CC, Nagpur is obtained.
4. Planning Authority to ensure that no OC to be issued to the project till water connection, sewer network, SWD network is made available in and around the project by PP and Planning Authority.
5. PP to obtain CRZ clearance for their amended plan.
6. PP to use excess treated water for construction within the project and ensure that project will be ZLD during construction phase; PP to ensure that in operation phase excess treated water discharged into sewer line should be less than 35%.
7. PP to submit revise Architect certificate with chronology of building approvals i.e CCs, OCs, ECs received & building wise, FSI, Non-FSI area wise, configuration wise construction done on site.
8. PP to relocate Sports Club building & Convention Hall (CF 6 building) proposed below High-Tension Line (HTL) & submit revised layout with location;



- V. Arrangement shall be made that waste water and storm water do not get mixed.
- VI. Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices.
- VII. The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.
- VIII. Permission to draw ground water for construction of basement if any shall be obtained from the competent Authority prior to construction/operation of the project.
- IX. Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor based control.
- X. The Energy Conservation Building code shall be strictly adhered to.
- XI. All the topsoil excavated during construction activities should be stored for use in horticulture / landscape development within the project site.
- XII. Additional soil for levelling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.
- XIII. Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.
- XIV. PP to strictly adhere to all the conditions mentioned in Maharashtra (Urban Areas) Protection and Preservation of Trees Act, 1975 as amended during the validity of Environment Clearance.
- XV. The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to Environments (Protection) Rules prescribed for air and noise emission standards.
- XVI. Vehicles hired for transportation of Raw material shall strictly comply the emission norms prescribed by Ministry of Road Transport & Highways Department. The vehicle shall be adequately covered to avoid spillage/leakages.
- XVII. Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB/MPCB.
- XVIII. Diesel power generating sets proposed as source of backup power for elevators and common area illumination during construction phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel is preferred. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.
- XIX. Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings by a separate environment cell /designated person.

**B) Operation phase:-**

- I. a) The solid waste generated should be properly collected and segregated. b) Wet waste should be treated by Organic Waste Converter and treated waste (manure) should be

the website of the Company by the proponent.

- XIII. The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM, SO<sub>2</sub>, NO<sub>x</sub> (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.

**C) General EC Conditions:-**

- I. PP has to strictly abide by the conditions stipulated by SEAC & SEIAA.
  - II. If applicable Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.
  - III. Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.
  - IV. The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.
  - V. The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.
  - VI. No further Expansion or modifications, other than mentioned in the EIA Notification, 2006 and its amendments, shall be carried out without prior approval of the SEIAA. In case of deviations or alterations in the project proposal from those submitted to SEIAA for clearance, a fresh reference shall be made to the SEIAA as applicable to assess the adequacy of conditions imposed and to add additional environmental protection measures required, if any.
  - VII. This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as if applicable & this environment clearance does not necessarily implies that Forestry & Wild life clearance granted to the project which will be considered separately on merit.
4. The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.

Validity unknown

Digitally signed by Shri Pravin C.  
Darade, I.A.S.  
Member Secretary

Date: 7/21/2023 2:36:45 PM

# **ANNEXURE-II**



/61479/2024



भारत सरकार

GOVERNMENT OF INDIA

पर्यावरण, वन एवं जलवायु परिवर्तन मंत्रालय

MINISTRY OF ENVIRONMENT, FORESTS &  
CLIMATE CHANGERegional Office, Ground Floor, East Wing,  
New Secretariat Building Civil Lines, Nagpur -  
440001,

apccfcetral-ngp-mef@gov.in



F.No. FC-II/MH-104/2019-NGP/12699

Date: 02.01.2024

To,

The Principal Secretary (Forests),  
Revenue and Forest Department,  
Hutatma Rajguru Chowk  
Madam Cama Marg  
Mantralaya, Mumbai - 400032.

**Sub: Diversion of 19.43 ha of Reserved Forest Land in favour of Municipal Corporation Greater Mumbai for Construction of Tunnel underneath Sanjay Gandhi National Park along Goregaon Mulund Link Road by Municipal Corporation of Greater Mumbai under Forest Conservation Act, 1980 in Mumbai District in the State of Maharashtra.- FP/MH/ROAD/27126/2017- in principle approval - regarding.**

Sir,

Please refer to the Government of Maharashtra letter no. FLD-1119/C.R.96/F-10 dated 06.03.2019 and 13.10.2023 and online application No FP/MH/ROAD/27126/2017 seeking prior approval of the Central Government under Section-2 (1) of the Van (Sanrakshan Evam Samvardhan) Adhiniyam, 1980.

After careful consideration of the proposal submitted by the State Government and with the approval of the Regional Empowered Committee (REC), I am directed to convey the Central Government's in-principle approval under **Section '2' (1) of Van (Sanrakshan Evam Samvardhan) Adhiniyam, 1980** for diversion of **19.43** ha of Reserved Forest Land in favour of Municipal Corporation Greater Mumbai for Construction of Tunnel underneath Sanjay Gandhi National Park along Goregaon Mulund Link Road by Municipal Corporation of Greater Mumbai, in Mumbai District in the State of Maharashtra, subject to the fulfilment of the following conditions:-

1. The legal status of forest land shall remain unchanged;
2. The demarcation of the proposed forest area shall be carried out at suitable places as per the direction of the DCF concerned at the cost of the User Agency;

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3. The State Government shall; carry out compensatory afforestation and its maintenance in the identified non forest area over an extent of **14.95 ha** in Sy No 87, 49/1, 49/2, 53, 50 & 67 at Vasanvihira of Chandrapur and an extent of **4.55 ha** in Sy No 232/2 in Gondmohadi Chandrapur at the cost of the User Agency. The identified non forest area shall be transferred and mutated in favour of forest department and the State Government shall notify such mutated area in to RF/PF before final approval and copy of such notification shall be submitted along with the compliance report;
4. **CA scheme shall be prepared and implemented as per the provision of under SI No 4 of the Schedule II of the Van (Samrakshan Evam Samvardhan) Rules 2023;**
5. The State Government shall charge the Net Present Value of the diverted forest land measuring **19.43 ha** from the User Agency as per the orders of the Hon'ble Supreme Court dated 28.03.2008 and 09.05.2008 in IA Nos.826 in 566 with related IA's in Writ Petition (Civil) No.202/1995 and Ministry's guideline No.5-3/2011-FC(Vol-I) dated 06.01.2022 and clarification issued vide letter dated 22.03.2022.
6. Additional amount of the Net Present Value (NPV) of the diverted forest land if any, becoming due after revision of the same by the Hon'ble Supreme Court of India in future, shall be charged by the State Government from the User Agency. The User Agency shall furnish an undertaking to this effect;
7. All the funds received from the User Agency under the project shall be transferred/ deposited to CAMPA fund only through e-portal (<https://parivesh.nic.in/>);
8. **All conditions recommended by the SC NBWL shall be implemented at the cost of the project;**
9. The State Government shall continue cumulative/holistic study on effects of construction of tunnels on the ecological, geological, hydrological, seismological and biodiversity aspects of the Sanjay Gandhi National Park including its carrying capacity from a reputed institution and implement the outcome measures, before taking up any activity underneath SGNP;
10. Proper muck disposal plan shall be implemented and in any way muck disposal shall not be done in the forest area;
11. Work shall be carried out only as per the timings that may be prescribed by the CWLW;
12. No Labour camps/ office etc shall be built in the forest area;
13. The UA shall ensure proper drainage system to flush out wastage throughout the tunnel and any way such waste / garbage shall not be disposed inside the tunnel area;
14. The UA at the project cost shall restore the area and compensate for the damage for the flora & fauna of the SGNP in case of any



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- adverse impact (s) occurs during construction & operation phase throughout the project life due to construction of proposed tunnel;
15. No tree felling shall be carried out in SGNP for the project.
  16. All mitigation measures as suggested in the reports submitted by the State Government shall be implemented by the concerned agency at the project cost.
  17. The UA shall prepare and implement disaster management plan as per the relevant rules/ regulation to that extant, if required for such tunnel projects.
  18. Detailed report on eviction of encroachers in SGNP and around area shall be submitted to the RO Nagpur by the State Government.
  19. The State / UA shall ensure all other approvals / permission under relevant rules / regulation, if any required prior to commencement of the project work.
  20. Proper labour camps shall be constructed in the non-forest area and in any case, labour camp shall not be made within the RF area;
  21. **After ensuring settlement of rights under the Scheduled Tribes and Other Traditional Forest Dwellers (Recognition of Forest Rights) Act, 2006 (2 of 2007) and compliance to all such conditions, the State Government shall issue order for working permission and diversion as the case may be;**
  22. User Agency shall obtain Environmental Clearance as per the provisions of the Environmental (Protection) Act, 1986, if applicable;
  23. Sufficient firewood, preferably the alternate fuel, shall be provided by the User Agency to the labourers after purchasing the same from the State Forest Department or the Forest Development Corporation or any other legal source of alternate fuel;
  24. No additional or new path will be constructed inside the forest area for the transportation of construction materials for execution of the project work;
  25. The forest land proposed to be diverted shall under no circumstances be transferred or sublet to any other agencies, department or person without prior approval of Govt. of India;
  26. **The total forest area utilized for the project shall not exceed 19.43 ha and the forest area diverted shall not be used for any purpose other than those shown in the diversion proposal. The User Agency shall furnish an undertaking to this effect;**
  27. The User Agency and the State Government shall ensure compliance to the all acts, rules, regulation and guidelines of the Ministry, for the time being in force, as applicable to the subject project;
  28. Any other condition that the Regional Office, Nagpur may impose from time to time in the interest of afforestation, conservation and management of flora and fauna in the area shall be complied by the User Agency;





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29. In the event of failure to comply with any of the above conditions the User Agency is liable for penal action as per the rules / guidelines issued under **Van(Sanrakshan Evam Samvardhan) Adhiniyam, 1980:**

30. The State Government shall process and submit compliance report on the above conditions through online (<https://parivesh.nic.in/>).

The in-principle approval shall be valid for a period of **2 years** from the date of issue of the same. In the event of non-compliance of the above conditions within the stipulated period, this in-principle approval **shall be deemed to be null and void;**

**This Issues with the approval of DDGF (Central), Regional Office, MoEF & CC, Nagpur.**

Yours faithfully,

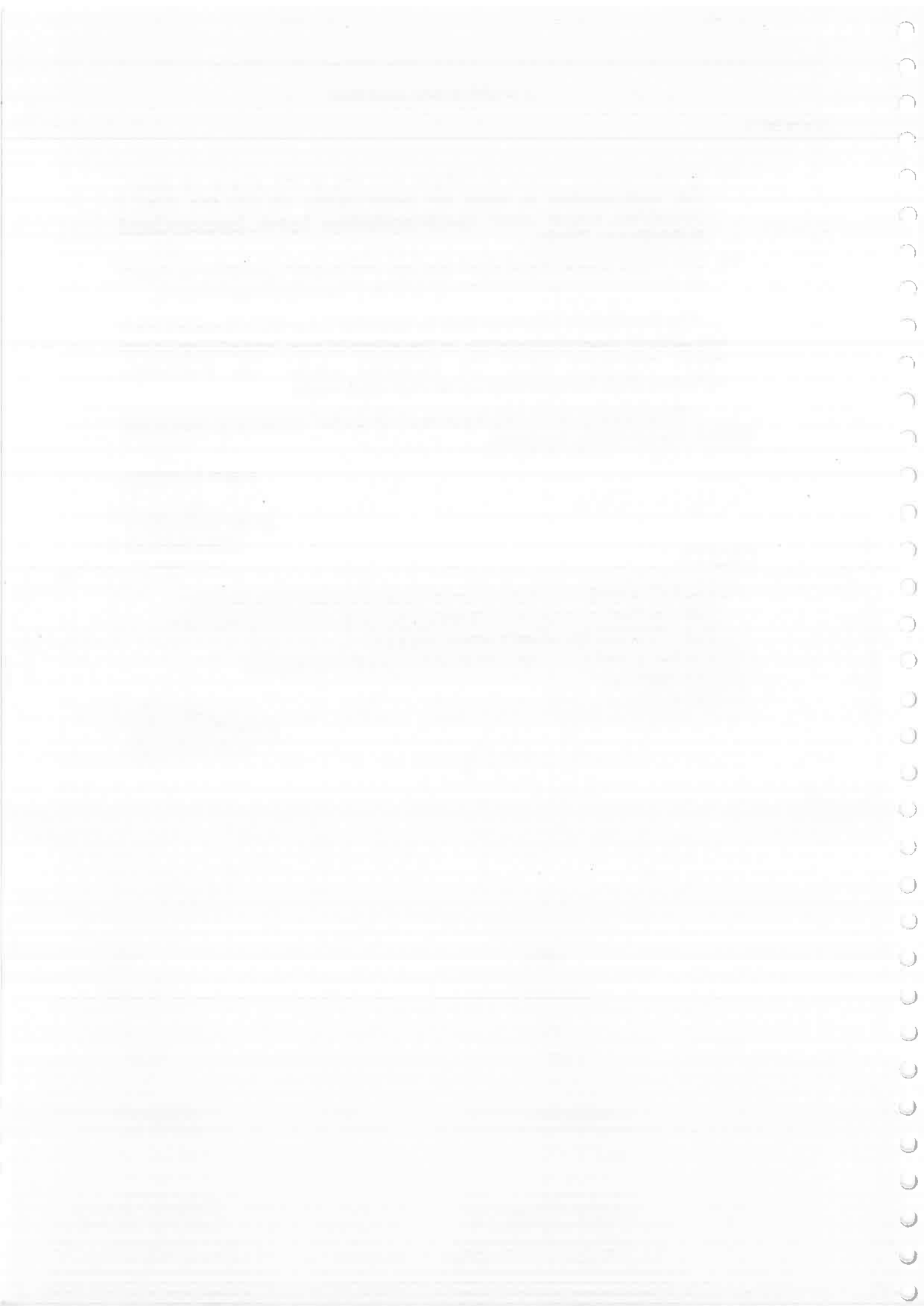
**(C.B. Tashildar)**  
AIGF (Central)

**Copy to:**

- i. The IGF (RoHQ), Ministry of Environment, Forest and Climate Change, Indira Paryavaran Bhawan, Jorbagh Road, Aliganj, New Delhi- 110003 **for information please**
- ii. The PCCF (HoFF), Government of Maharashtra, Nagpur.
- iii. User agency.
- iv. Guard file.

**(C.B. Tashildar)**  
AIGF (Central)





# J. KUMAR - NCC PRIVATE LIMITED

Phone: 022-67743555 \*CIN: U46639MH2023PTC412136\* Email Id: info@jkumarncc.com

Regd. Off: 2ND FLOOR, J. KUMAR HOUSE, CTS NO. 448, 448/1, 449, SUBHASH ROAD,  
VILE PARLE (EAST), MUMBAI 400 057, MAHARASHTRA, INDIA.



**NCC**  
NCC Limited

JKNCC/ BMC/ GMLR/ SITE/ 2024-25/366

Date- 30<sup>th</sup> August 2024

To,  
**The Chief Engineer (Bridges),**  
MCGM Building, Worli Hub,  
Worli, Mumbai 400 018.  
Email: [che.gmlr@mcgm.gov.in](mailto:che.gmlr@mcgm.gov.in)

**Project Name :-** Design, Construction, and Operation of twin tunnel from Film City Goregaon to Khindipada (Amar Nagar) Mulund including Box Tunnel at Film City, Electrical, Mechanical, and associated works.

**Subject: -** Continual Execution Round O'clock Using TBM/Tunneling at GMLR Project

**Reference: -**  
1. LOA No. Ch. Eng./7959/Bridge dated 21.09.2023.  
2. Work Order No. Ch.E./10559/Bridges dated 20.11.2023.  
3. JKNCC/ BMC/ GMLR/ SITE/ 2024-25/ 330 dated 22.07.2024

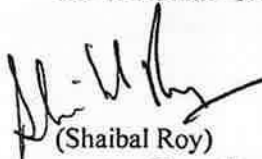
Dear Sir,

This has in reference to the subject matter, the contractor herewith submitting the requisite document to enable the authority to deliberate the continual execution round o'clock in time Using TBM/Tunneling Operation at GMLR Project facility.

The Contractor requesting the Hon'ble BMC Engineer/ Representative to kindly review the same and offer us the formal go-ahead in the form of working permission at the earliest.

Thanking you and assuring you of our best services at all times, the Contractor remains.

Yours faithfully,  
For J. Kumar- NCC Pvt. Ltd.

  
(Shaibal Roy)

(Project Co-ordinator)  
Authorised Signatory



**Encl:-**  
1. Detailed SOP on Tunnelling Operation & Requirements using TBM.  
2. Muck Quantity and Disposal Justification  
3. Disposal Land Detailed 7/12 Extracts

**CC:**  
1. **The Executive Engineer (GMLR),** 5-B Bhandar, Bhandup Complex Store Building, Dargah Road, Khindipada, Mulund West, Mumbai 400 082.

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**Muck Management & Disposal Plan Justification for GMLR Project**  
**Date: -28/08/2024**

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**Project Title:** - Design Construction and operation of Twin Tunnel from Film City Goregaon to Khindipada (Amar nagar ), Mulund including Box Tunnel (Cut & Cover )at Film City ,Electrical ,Mechanical and Associated Works

**Subject:** - Disposal of Excavated Muck at vasai-Virar for GMLR Project

Initially, in first phase excavation for cut & cover at Eco Sensitive Zone (ESZ) by open excavation method will be disposed approximately 5 lacs cum excavated Stone/soil/muck for which we have identified the area at vasai , Virar ,Mumbai . Basically this area will be used for disposal for cut & Cover excavated Stone/soil/muck.

Further, in next phase of tunnelling work will generate approximately 20 lacs cum of muck and disposal of the same land will be identified and will be intimated in due course of time.

Following are the approximate Quantities of Earth / Muck disposal

Cut & Cover Area Excavation Quantity - 05 lacs Cum approx.

Twin Tunnel Muck Quantity - 20 lacs Cum approx.



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**DETAILED REPORT ON TUNNELLING OPERATIONS AND  
REQUIREMENT USING TBM BENEATH SANJAY GANDHI NATIONAL  
PARK FOR THE GMLR PROJECT**

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## **1. Executive Summary**

This report outlines the tunneling operation using a Tunnel Boring Machine (TBM) with a diameter of 14.42 meters, part of the Goregaon-Mulund Link Road (GMLR) project. The tunnel passes beneath the Sanjay Gandhi National Park (SGNP), a sensitive reserved forest. The primary focus is to ensure that there is no direct or indirect impact on the animals or wildlife within the park. The report presents the tunneling methodology, environmental safeguards, and measures to mitigate any potential human-animal conflict.

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## **2. Project Overview**

- **Project Name:** Goregaon-Mulund Link Road (GMLR) Tunneling Operation
- **Location:** Beneath Sanjay Gandhi National Park, Mumbai
- **TBM Diameter:** 14.42 meters
- **Tunnel Length:** Length of 3 + 3 lane Twin Tunnel proposed underneath SGNP - 4.7km
- **Geological Features:** Predominantly basaltic rock, with considerations for groundwater levels and existing faults.
- **Other Salient Features:**
  - Proposed Width of Road outside Tunnel - 45.70 m
  - To avoid invasive activity, tunnelling methodology is proposed by use of TBM without any shaft inside SGNP.
  - Ventilation inside the tunnel proposed by way of artificial means
  - Cross passages are proposed at regular intervals of every 300 meters along the entire length of the tunnel.
  - Tunnel passes under the SGNP from 20 M to 150 M without disturbing the surface of the SGNP. There is no land acquisition in the SGNP for construction of the tunnel.
  - There is no tree cutting, excavation activity, machinery manpower deployment in the boundary of the SGNP.
  - Diversion of land for afforestation of area 19.43 hectare is completed and handed over to the forest department at Tadoba sanctuary Chandrapur district.
  - Provision of the utility duct and water pipeline for further demand is planned in the tunnel to avoid further excavation in SGNP.



- State -of -art tunnelling technology is planned to avoid vibration level to the surface of SGNP.
- There will be no disturbance to the movements of the animals in the SGNP area, as the tunnel is to be constructed underground, in addition animal passageway is also proposed near the boundary of SGNP.
- The following necessary permissions are received for the GMLR Tunnel Project being constructed in SGNP area.
  - i) Eco sensitive zone received on 04.09.2018
  - ii) Wide life clearance (NBWL) received on 25.02.2019
  - iii) In principle forest approval from REC 14.12.2022
  - iv) First stage forest clearance from REC on 13.12.2023
- The following studies were carried out for the GMLR Tunnel Project
  - i) Ground water study from IIT Bombay
  - ii) Biodiversity study by BNHS
  - iii) Environmental Impact Assessment study by appointed Environmental Consultant.

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### 3. TBM Selection and Operation

- **TBM Type:** An Earth Pressure Balance (EPB) Rock Shield TBM has been selected due to its ability to manage varying geological conditions and maintain stability in soft ground and rock strata.
- **Specifications:** The TBM has an approximate cutter head of 14.42 meters in diameter, designed to minimize vibrations and reduce noise levels, essential for operations beneath sensitive ecological zones like SGNP.

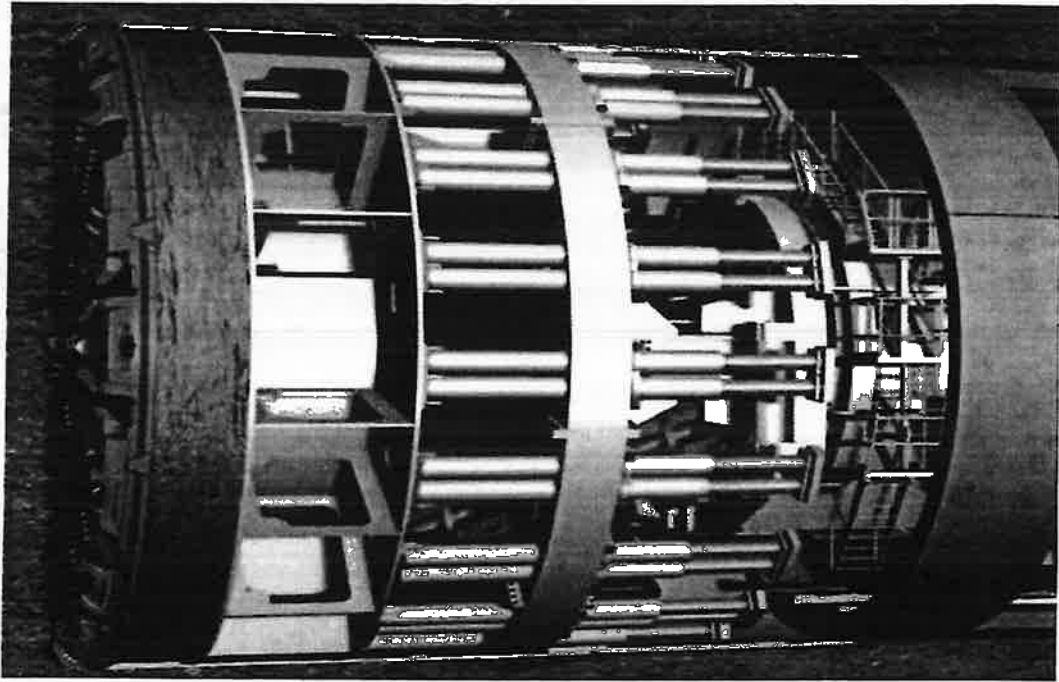
#### 3.1. TBM Launch and Retrieval

- **Site Preparation:** The TBM launching shaft is prepared with minimal disturbance to the surrounding environment, located outside the core protected area of SGNP.
- **TBM Assembly:** Assembled on-site with components transported via designated access routes to avoid additional deforestation and any adverse impact on regular route.

#### 3.2. Tunneling Process

- **Excavation and Muck Removal:** The EPB Shield TBM advances through the rock strata, with excavated material (muck) being transported out by conveyor arrangement of the tunnel for appropriate disposal to muck pit in designated place.
- **Tunneling phase:** This whole TBM machine has a shield to bear the earth pressure operated from an operating cabin which is located within the machine itself. The tunneling phase contains a cutting head consisting of many cutting blades made of steel used to cut hard rock bodies. The whole cutting head/wheel rotates up to 2 revolution/min as per requirement. The main aim is to create a balance between the

amount of material cut to amount of material removed. During shear drive in unsupported to ground face support is generated to counterbalance and stable the system. The continuous movement of the machine is done by hydraulic jack cylinders by applying required pressure at cutting head along the cutting phase. It also has grippers which are just like a supporting arm of TBM. These grippers are used only which cutter head moves forward against the tunnel face.

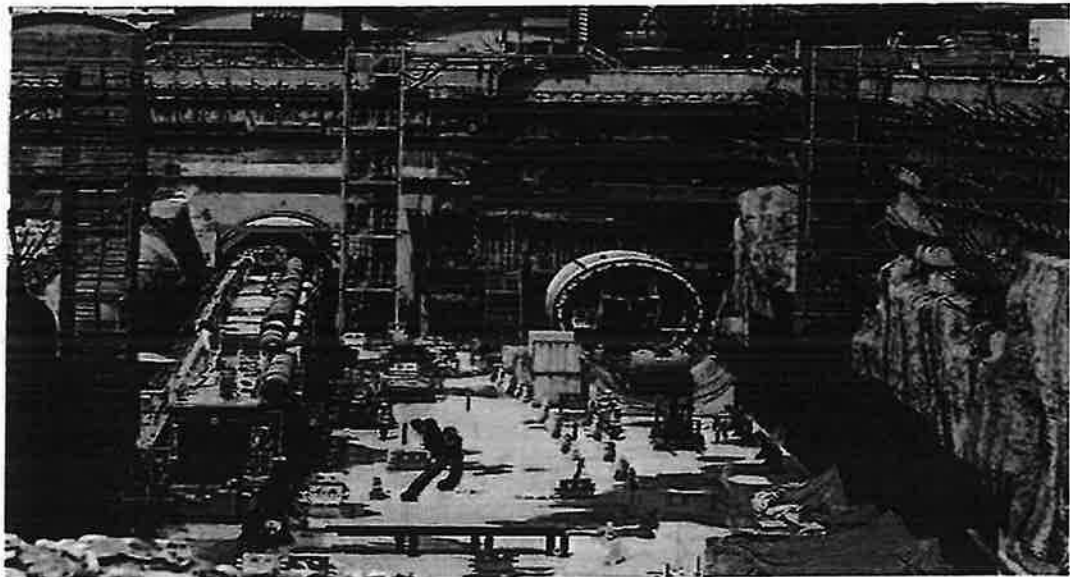


*Figure 1 TBM operation*

- **Lining Installation:** Precast concrete segments are installed by the robotic erector immediately as the TBM advances, ensuring structural stability and reducing the risk of subsidence.



*Figure 2 Reference photo of Segment lining*



*Figure 3 Reference photo of TBM Launching Shaft*

#### **The ring building phase:**

1. The complete machine works inside the concrete frame.
2. The concrete segments are precast elements of M60 grade concrete manufactured in the casting yard and been supplied to the working area with trailer.
3. These concrete segments are lifted by segment crane and kept on the segment feeder for ring building process.
4. The segment feeder is a belt drive system carrying and transport segments in erector area.
5. The length of the feeder generally matches with the one set ring length.
6. We will have a dedicated technical team of nearly 25 personnel each shift comprising Tunnel manager, Mechanical and Electrical manager including TBM operators and other crew members to monitor the quality and safe execution of TBM drive.
7. The erector collects the concrete segments from the segment feeder and place it in a correct circular shape (9+1 Segments for 1 Ring).
8. The erector is a circular device which runs on hanging track
9. These erectors consist of a vacuum plate which helps in lifting the concrete plates.
10. The erector has a specialty as it can rotate 360 degrees.
11. This helps the erector to place the segments in their proper place.
12. The erector runs on laser technology which places the segment Correctly.
13. The hydraulic jack moves back as the segment is to be placed and when the segment is placed then the jack presses it to it place so that the Segment could be bolted along the previous segment.
14. The whole process of tunneling and ring buildings is simultaneous and runs continuously one after other.
15. Instrumentation and monitoring will be placed and continuously monitored for settlement and deviation of alignment.

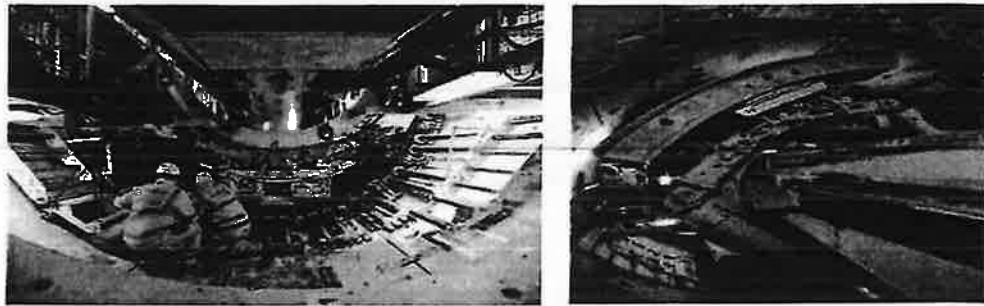


Figure 4. Segment erection

- **Groundwater Management:** Continuous monitoring and management of groundwater to prevent any water table disruptions that could affect the park's ecosystem.

#### 4. Environmental Monitoring

The JKUMAR NCC committed to Implement Environmental Management plan along with Muck Disposal Plan and C&D waste Management Plan for GMLR Project.

##### 4.1 TBM OPERATION 24 X 7 IMPORTANCE

1. **Maintaining Face Pressure** - As this is an EPB rock TBM we need to balance pressure during TBM stoppage if time is being restricted and for that we need to pump bentonite to prevent collapse of soil inside chamber. So, if TBM is continued mining this process can be avoided.
2. **TBM Weight** - As the Weight of TBM Shield is huge, with the lapse of time it tends to settle downwards slowly which is risky for maintaining alignment.
3. **Faulty Zone** - During TBM drive we may encounter any unfavorable/faulty zone, so if we restrict timing to stop the TBM we may face settlement/similar accident in front of cutter head which is a severe risk.
4. **Affect to Overall Project Duration**- By restricting TBM operation timing we will not achieve key date as per contract condition which will affect other key dates as well and ultimately overall project duration.
5. **Safety issues**- In case of sudden water flow or catching fire inside tunnel we can't attend immediately for mitigation which can spread further.
6. **Skin Friction**- If TBM stops for long time then the skin friction will be more in case of restarting.
7. **Waste management**- If we close TBM one shift then we need to clean the grout line every day each shift with water which will create extra waste to manage on a daily basis.
8. **Cost impact of Resources & manpower** - There will be more than 300 people/day will be working inside and outside of TBM and lots of machineries like grout pump, gantry, ventilation, JCB, hydra will be involved. It would impact costs if the working duration was minimized. Also, productivity and efficiency will be compromised.
9. **Wastage of power supply**- Even if we stop TBM we have to switch on emergency lights inside tunnel and other necessary power supply like ventilation for 24 hours each day (otherwise moisture will deposit on the back up gantry) which eventually wastes power supply.



#### **4.2. Subsurface Tunneling and Its Effects**

- **Depth of Operation:** The tunnel is planned to be at a depth of [specify depth] meters below the surface, ensuring that the operations do not interfere with the park's surface ecosystem.
- **Vibration Control:** The TBM is equipped with vibration dampening technology, ensuring that vibrations do not propagate to the surface, thus avoiding disturbance to wildlife.
- **Noise Reduction:** The depth and design of the TBM, combined with sound insulation at the entry and exit points, ensure minimal noise impact, undetectable at the surface level.

#### **4.3. Impact on Flora and Fauna**

- **No Surface Clearing:** As the tunnel is entirely subsurface, there will be no clearing of vegetation, thus preserving the habitat for wildlife.
- **No Interruption to Wildlife Corridors:** The tunneling route is sufficiently beneath existing wildlife corridors, ensuring that the movement of animals is not hindered.
- **Groundwater and Hydrology:** Special attention is given to preserving the park's hydrological features. The tunneling operation includes advanced water management techniques to ensure that underground water flow remains unaffected, thereby protecting the flora and fauna dependent on these water sources.

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### **5. Human-Animal Conflict Mitigation Plan**

#### **5.1. Pre-Construction Measures**

- **Environmental Baseline Survey:** A comprehensive survey of the wildlife, including mammals, birds, reptiles, and insects, has been conducted to establish baseline data.
- **Stakeholder Consultation:** Engaged with wildlife experts, local NGOs, and park authorities to understand potential concerns and incorporate feedback into the planning process.

#### **5.2. During Construction**

1. **Monitoring Systems:** Real-time monitoring systems are installed to track any unexpected surface vibrations or noise levels. These systems ensure immediate action if any anomalies are detected.
2. **Wildlife Monitoring:** Regular monitoring of wildlife behavior using camera traps and field surveys to detect any changes or disturbances.
3. **Communication Plan:** A robust communication plan to inform park authorities and local communities of the construction schedule and any potential impacts, ensuring transparency and preparedness.

#### **5.3. Post-Construction Measures**

- **Site Restoration:** After completion, any temporary construction sites or access routes will be restored to their natural state, including replanting native vegetation.

- **Long-Term Monitoring:** Continued monitoring of wildlife and environmental conditions to ensure the long-term success of mitigation efforts.
- **Reporting:** Regular reports will be submitted to the Wildlife Department detailing the monitoring results and any necessary corrective actions.

## 6. Conclusion

The tunneling operation beneath Sanjay Gandhi National Park using a TBM with a diameter of 14.42 meters has been meticulously planned to avoid any direct or indirect impact on the park's wildlife. By employing advanced tunneling techniques, environmental safeguards, and comprehensive monitoring, the project ensures that the natural habitat and the species it supports remain undisturbed. The GMLR project thus exemplifies a balance between infrastructural development and environmental conservation.

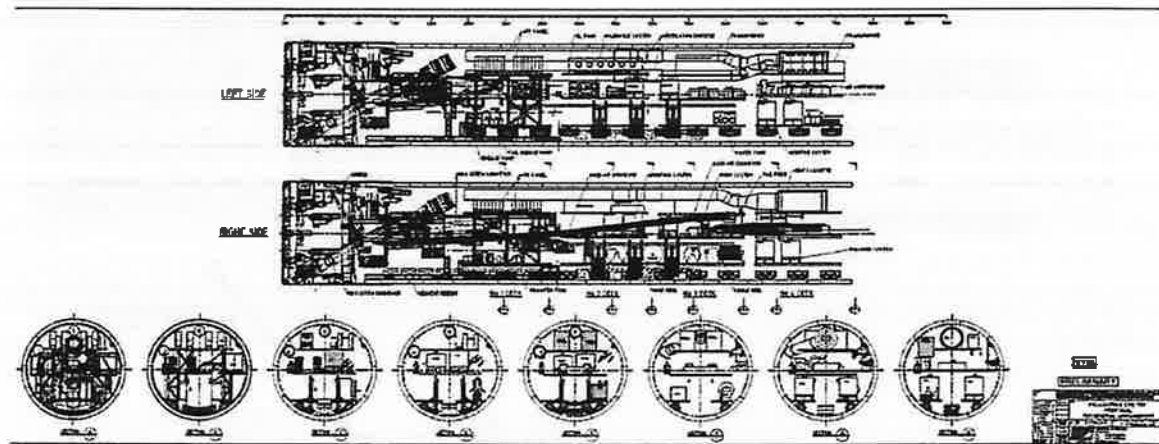


Figure 4 TBM LONGITUDINAL AND CROSS-SECTIONAL VIEW

## Chapter 2 Instrumentation and monitoring plan during TBM drive

### 1. Instrumentation and monitoring

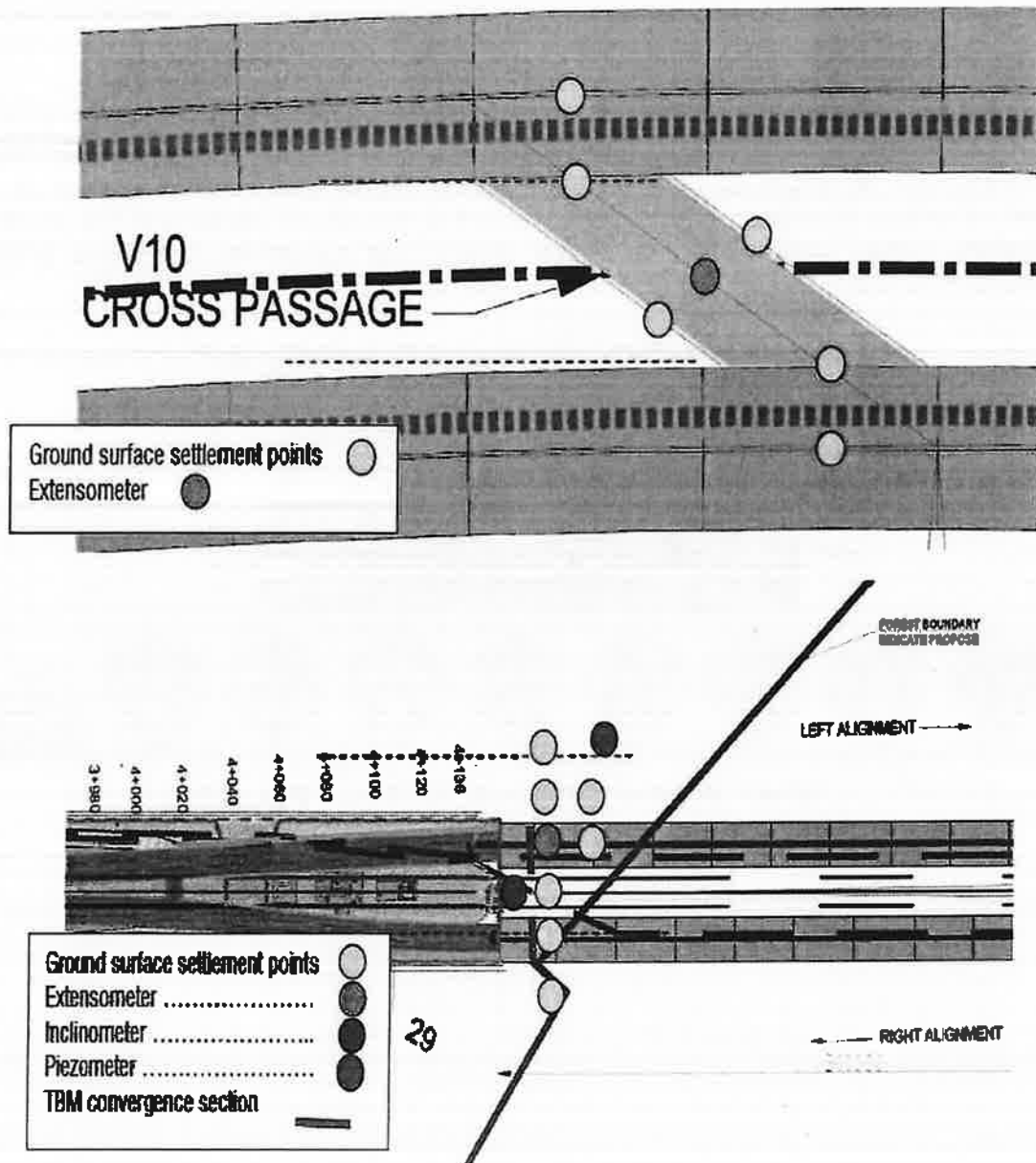
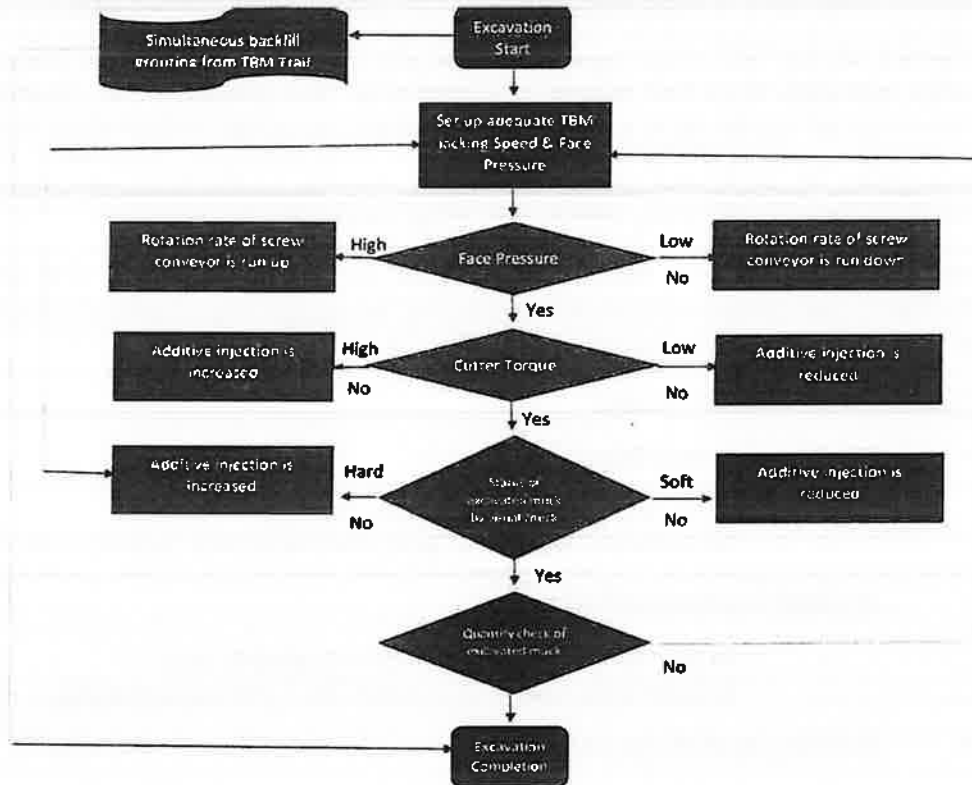


Figure 5 Instrumentation and monitoring plan during TBM drive

## 2. Flowchart Summary

### EPB TBM OPERATION FLOW CHART (SUMMARY)



## 3. Longitudinal geological profile of tunnel

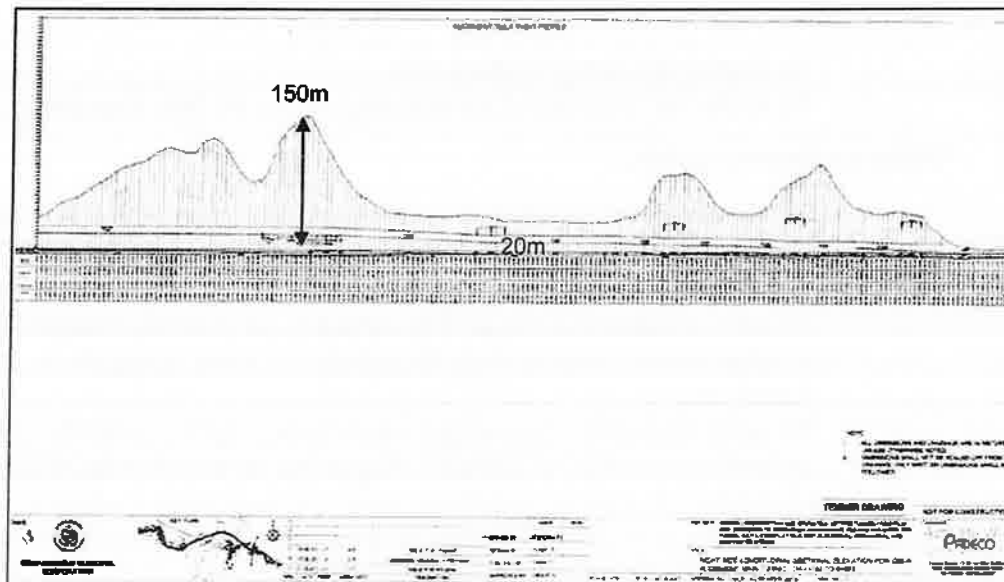


Figure 6 LONGITUDINAL GEOLOGICAL PROFILE OF TUNNEL



**Vibration effect on overburden layers:** As per tender geological profile we have maximum overburden of 150m whereas lowest is 20m. The presence of vibration effect on surface is negligible.

As the cover zone is more than 1d that is 13m (which is our finished Dia).

We will run the TBM majorly grade II basalt and breccia which itself has more than 100 MPA UCS and 80% RQD that means very hard rock. The generation of vibration due to TBM operation will not be felt at surface because of the intactness of solid mass rock.

In addition, we will fix several instruments on surface as per the designed requirement to check peak particle velocity along with several other parameters.

Based on the previous TBM tunnel projects experience it is clear that with these TBM functional parameters and monitoring scheme, we will be able to control vibration effect at the particular stretch where Animal movement is observed.

#### **TBM Instrumentation Design**

- **Piezometers and Standpipes**
  - To Monitor groundwater pressure; and
  - To Verify the design groundwater pressure in face support pressure.
- **Ground Settlement Points**
  - To Monitor the ground surface movement; and
  - To Determine values of k and % VL Form back analysis
- **Building settlement points**
  - To Monitor the movement of the existing buildings affected by the works; and
  - To verify the response of the buildings found on deep foundation
- **Tilt Plates**
  - To Monitor the tilting of structures
  - To Verify the response of the buildings found on deep foundation
- **Utility settlement points**
  - To Monitor the movement of sensitive utilities affected by the works
- **Inclinometers**
  - To Monitor the lateral movement of the ground at different depths, particular in area where there is deep foundation in close proximity to excavation works; and
  - To verify the lateral movement experienced by the piled foundation and determine the effect of the tunnelling works on the piled foundation

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#### **4. Method for TBM Instrumentation Monitoring**

##### **Definition of Monitoring Phases**

- **Background Monitoring**

- Refer to the monitoring carried out over an initial phase before commencement of construction works

• **Standard Monitoring**

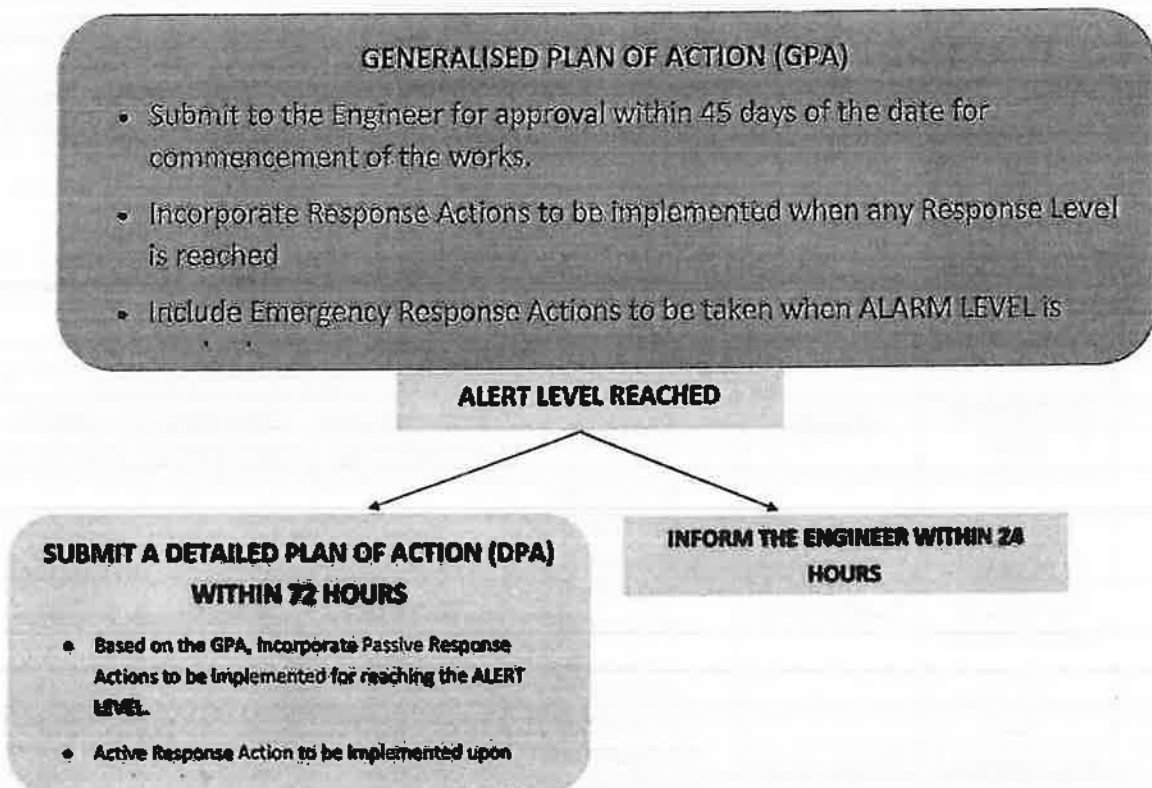
- Frequency shall be adopted for instruments which are beyond 50m and within 100m from construction works

• **Active Monitoring**

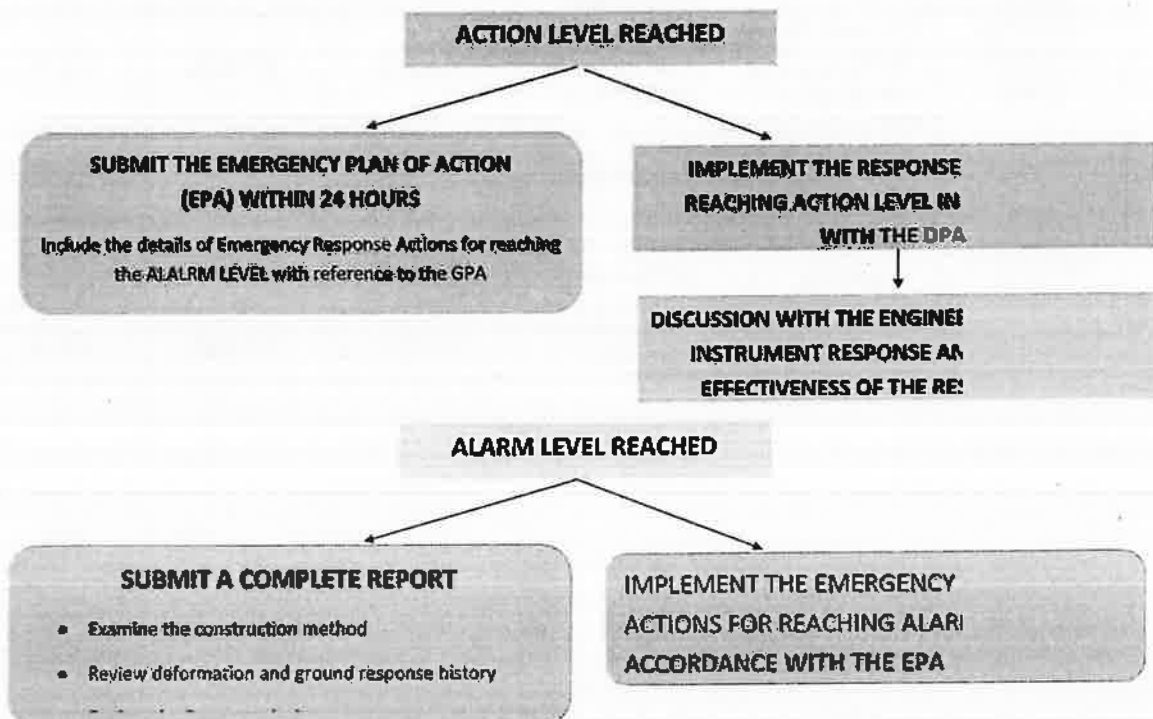
- Frequency shall be adopted for instruments which are within 50m from construction works

Instrument type	Depth	Purpose	Minimum frequency of monitoring		
			Background monitoring	Standard monitoring	Active monitoring
Open standpipes piezometers	Tunnel level	To monitor change in groundwater level and piezometric heads in soils/rock	Monthly	Weekly	Daily
In place/vertical inclinometer	Tunnel level	To monitor Subsurface lateral ground movement	Weekly	Weekly	Daily
Ground settlement point	On ground surface	To monitor ground settlement	Weekly	Weekly	Daily
Building settlement point	On selected buildings & structures	To monitor ground settlement	Weekly	Weekly	Daily
Tilt plate	On selected buildings & structures	To monitor utility settlement	Weekly	Weekly	Daily
Utility settlement point	On selected utilities	To monitor utility settlement	Weekly	Weekly	Daily
Vibro meter	On selected utilities	To monitor vibration	Weekly	Weekly	Daily

## REPORTING PROCEDURE FOR AAA EXCEEDANCE(SOP)



## REPORTING PROCEDURE FOR AAA EXCEEDANCE



## **5. Conclusion**

The Tunnel Boring Machine (TBM) employed in the GMLR project represents the pinnacle of modern tunneling technology, epitomizing ~~state-of-the-art engineering~~. As one of the most advanced methods for underground construction, the TBM offers unparalleled precision, safety, and efficiency, making it the ideal choice for tunneling beneath sensitive areas like Sanjay Gandhi National Park.

### **Benefits of Using TBM:**

#### **1. Minimized Environmental Impact:**

- The TBM's ability to operate entirely below ground ensures that there is no disruption to the surface environment, preserving the park's flora and fauna.
- Advanced vibration and noise control features minimize disturbances to wildlife, making the tunneling process virtually imperceptible at the surface level.

#### **2. Enhanced Safety:**

- TBMs are equipped with cutting-edge monitoring systems that provide real-time data on geological conditions, ensuring the safety of the operation and reducing the risk of unforeseen incidents.
- The TBM method greatly reduces the need for extensive surface excavation, thereby mitigating the potential for accidents and minimizing human-wildlife interactions.

#### **3. Precision and Efficiency:**

- TBMs are designed to navigate through complex geological conditions with high precision, reducing the likelihood of deviations and ensuring the tunnel follows the planned alignment.
- The continuous operation of TBMs allows for faster project completion, reducing the overall construction timeline and limiting the period during which the environment might be affected.

#### **4. Ground Stability:**

- The TBM method involves the immediate installation of tunnel linings, which stabilizes the ground as the machine progresses, preventing subsidence and protecting the surface ecosystem.
- Groundwater management systems integrated into the TBM prevent any disruption to the natural hydrological cycles within the park.

#### **5. Sustainability:**

- TBMs produce less spoil and waste compared to traditional tunneling methods, contributing to a more sustainable construction process.
- The technology is designed to handle and recycle excavated material efficiently, further reducing the environmental footprint of the project.



Moreover, for GMLR project if we excavate one ring of 2m length the TBM will generate approximately 400 cum muck and on an average if we build 6 rings per TBM per day then the quantity will be approx. 4800 cum and to transfer this huge quantity daily we need safe passage of disposal which is also important for 24 hours mucking operation with sufficient number of dumpers and dozer/excavators.

Our TBM will be operating with designed thrust force, torque, advance speed and rpm maximum up to 2 based on the geological strata/conditions. By these parameters if we analyse in numerical model and compare this 3D propagation elastic waves with the particle velocity it generally comes within limit. Apart from this we monitor the vibration parameters inside and surface by installing several instruments like vibro-meter, settlement marker, Multi point borehole extensometer to monitor settlement in each layer above tunnelling.

In conclusion, the use of a TBM for the GMLR project not only exemplifies the safest and most beneficial tunneling approach but also underscores our commitment to preserving the delicate balance between infrastructural development and environmental conservation. The adoption of this state-of-the-art technology ensures that the tunneling operation beneath Sanjay Gandhi National Park is executed with the utmost respect for its unique ecosystem, safeguarding it for future generations. We take so much care and prepare risk mitigation plan during tunnel operation as it is required to run the TBM beneath so many old buildings, sensitive zones in urban areas in terms of settlement, filling of annular gap through grouting and installation of several instruments with checking and setting its ALERT, ALERM and ACTION parameters. Hence 24-hour TBM working operation is very much important for quick, safe, efficient and reliable performance of TBM.

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abwal Date : 31/07/2024

(Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971)

**District :- palghar**



shetache shanik nao :

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakry aihawa kaydevysheer babinsahi vaprata venar nahi.

[Maharashtra Land Records Revenue Records of Right and Rights (Book Keeping) Rule 1971 yatti nam 29]

**District :- patgher**

#### Details of Area Under Crop

**Note :** \* sadrachi nond mobile ap dvaren ghenet aleli ahe

suchama : yah sanketasthitar darshan ilcli mahiti he konatyahi shasakyi athawa kaydeysheer babinsadhi vaprata yonar nahi.

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जमावडी आयुक्त आणि संघातक भूमि अभिलेख कार्यालय  
तिरुवा मल्ल, नवीन प्रशासकीय इमारत, कोनिल्ल हिल समोर, तुरी  
दूरध्वनी : ०२०-२६०५०००६, ई-मेल : [dirmah\[at\]mah\[at\]mah\(dot\)in](mailto:dirmah[at]mah[at]mah(dot)in)  
Best viewed with resolution 1366\*768 in Firefox, Chrome, IE.



Village namuna bara ( pikanchi mondavhi )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 ya0 niam 29 ]

Village :- gokhivre ( 944016 )

Taluka :- rasei

District :- palghar

bhumapan kramank v upavibhag : 62/2

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hept. choh.me	hept. choh.me			hept. choh.me	
2013-14	khavij	1919*						gavat pad	0.3150	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthitar darshavileli mahiti he konatyahi shasaktyi adhawa kaydeysthor babinsathi vaprata yonar nahi.

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सुचना : या संकेतस्थळवर दर्शविलेली माहिती ही कोणत्याही शासकीय अथवा वापदेवीर बाबीसाठी वापरता येणार नाही.  
जमाबंदी अधिकृत आणि संचालक भूमि अभिलेख कार्यालय  
विलसत भवन, नवीन प्रशासकीय इमारत, कोर्नरवॉल रोड समोर, पुणे  
दूरध्वनी : ०२०-२६०५०००६, ई-मेल : dlmah@dotmah[at]nic[dot]in  
Best viewed with resolution 1366\*768 in Firefox, Chrome, IE.



For View Only





महाराष्ट्र शासन  
महसूल विभाग

गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे



MAHA Bhulekh (i.e. Maharashtra Bl)

मुख्यपृष्ठ



abwsl Date : 25/01/2024

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]

Village :- gokhivre ( 944016 )  
ulpin : 32097133447

Taluka :- vasai  
bhupaman kramank v upavibhag : 62/3

District :- palghar



32097133447

Tenure Type :- bhogavatadar varg -1		shetache sthanik nao :				Mutation number	Tenancy, Rent & Other Rights
Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable		
Area Unit :- Htr. Area, Sq. meters	1794-1	[ jehadnawachakolopis	0.00.00	0.00	0.00.00	( 4666 )	Name of the tenant and Rent
a) Irrigated Area		[ mawach-jehadnawachakolopis				( 4666 )	
Non-Irrigated	0.02.00	-----	0.00.00	0			Other Rights
Irrigated	-						-----
Total cultivable Area	0.02.00	1817	0.01.40	0.01	0.01.50	( 4716 )	-----
b) Uncultivable Area		mawachnawachakolopis devdharma housing and estate					-----
(Irrigated area)		ryalstara pra.B. tarfe daktar devendra rajnikant					-----
Class (A)	0.01.50	ladhani					-----
Class (B)	-	1823	0.00.00	0.01		( 4716 )	-----
Total polka	0.01.50	national highspeed railway corporation ll					-----
Total Area (a+b)	0.03.50						-----
Assessment	0.02						-----
Special Assessment	-						-----

For View Only

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shaskiy athawa kaydaychoor babinsathi vaprata yonar nahi.

## Village namuna bara ( pikamchi nondavhi )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yath niam 19 ]

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

bhupaman kramank v upavibhag : 62/3

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hry.c.	hry.c.			hry.c.	
					chou.me	chou.me			chou.me	
2021-22	sahavoren varsh	carwa khate						polkharab	0.0150	
		carwa khate						gavat pad	0.0100	

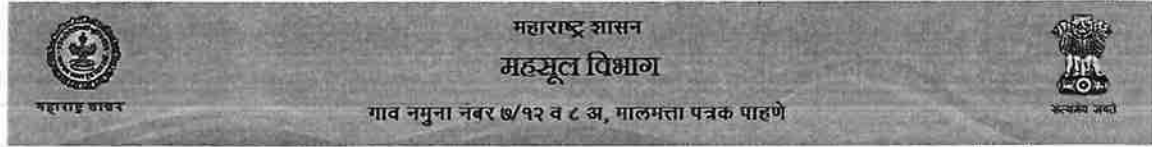
Note : \* sadrachi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shaskiy athawa kaydaychoor babinsathi vaprata yonar nahi.

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a land record website of Maharashtra state (India) that provides 7/12 extract, 8A extract and Property Card

मुख्यपृष्ठ



Government of Maharashtra

Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]

ahwal Date : 20/06/2023



19044051828

Village :- gokhivre ( 944016 )  
ulpin : 19044051828

Taluka :- vasai

District :- palghar

bhumapana kramank v upavibhag : 62/4

Tenure Type : bhogavatadar varg -I

shetache shanik nao :

Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit: rchhu.machon san.mn.	191	devendra rajokant Isdhan	10.58.00	185.00		( 5491 )	Name of the tenant and Rent
akreshak Area	249	pasool jayraj(jogey) lopis				( 5491 )	Other Rights
bin sheti 14.88.00		phillamla gadifree perdra				( 5491 )	akula
Assessment 140.00		klera pond lopis				( 5491 )	rukade ( 632 )
		—cuzike Area—	3.58.00	35.00			( 1956 )
	[ 5491 ]	[ rukesh rajmankumar aggarwal ]				( 4605 )	[ western railway free hold darvathi bhushanpandan kelli ahe ( 4886 )
<div style="text-align: center;"> <p>For View Only</p> </div>							akreshak vagar
							ma.talukdar vasal yanchokadli ksa.mahadik-1/te-1/jamshab Auri-ty-638/2019 di 29/10/2019 anwaye maharashtra jama mahadik adhiyayam 1966 che kalam 47 a madikl tartadimmar ropantarak kar v rahivas v vadhyas karamadik bishakti akarnidhi rukdam devendra rajokant kadhadi yamal tyandya hikyachya kuhetrapali Area @ 10.5 kajar (18.5888 rchan wa. jgtrali akam sama heli) are. ( 4958 )
							( 1956 )
							[ rajpatras pravadi kalyan(11) adhiyayam mumar mumbai ahmedabad highspeed railway pravadi kalyan sampadmanadhi pravadi kalyan bhumi sampadman-puravasan v padmanavakata kalyan adhiyayam 2012 madik kalam 11-44 anwaye hastanturam bandi ( 5398 )
							akreshak vagar
							ma.talukdar vasal yanchokadli ksa.mahadik-1/te-1/jamshab Auri-ty-638/2019 di 29/10/2019 anwaye maharashtra jama mahadik adhiyayam 1966 che kalam 422b madikl tartadimmar beval ropan(aran kar v bindhal akarnidhi rukdam vasal karmayal saki auro tyamola spona jagover nityojit akarnidhi vagar karmayach sathya tyapurvi sambandik shiyajan pradikmadhi v itae avayak nya pradikmadhi puravasanagi ghene bandhankarak rakh ( 5491 )
							prashant ferat : mahl
							shetacha ghator karmanak : 5491 v Date : 20/06/2023
Jama Mutation No ( 171 X 588 X 632 X 1038 X 1274 X 1368 X 2539 X 2806 X 4078 X 4086 X 4116 X 4432 X 4542 X 4608 X 4859 X 4888 X 5368 X 5491 )							19044051828

suchana : yah sanketasthavar darshavikeli mahiti he konatyahi shasakyi athawa kaydeysheor babinsathi vagraya yonar nahi.

## Village mamana bara ( pikanchi nondavhi )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yam aam 29 ]

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

bhumapan kramank v upavibhag - 62/4

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					heyrn choa me	heyrn choa me			heyrn choa me	
2012-13	khurip	181*						gavat pad	0.0825	
		249*						gavat pad	0.0275	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shesakiy aihawa kaydeysheer babintajhi vaprata yekar nahi.

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मुख्यपृष्ठ



shwal Date : 20/06/2023

[ Maharashtra Land Records Revenue Records of Right and Registers (Back Keeping) Stale 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]

Taluka :- vasai  
Bhumapata kramank v upavibhag : 62/5

District :- polebhar



13058800312

shetache sthanik nao :

[illegible]

suchana : yah sanketasthavar darshaviloli maliki he konaryahi shosakiy athewa kaydeysheer babinsaki vaprata yonar nahi.

1. Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 until minor 29

Taluka :- Vasai

**District :- palghar**

bhumapan kramank v upavibhag : 62/5

khata kramank			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hect. chow.me	hect. chow.me			hect. chow.me	
2021-22	aman season kharif	survee khate.						potlikharib	0.0450	

suchana : yah sanketashilavar darshavileli mahiti he konatyahi shasakiy athawa kaydeysheer babinsathi vapraya yonar nahi.

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 दूरध्वनी : २२२२७७०००१, ई-मेल : [dmsahd@mahajamajm.com](mailto:dmsahd@mahajamajm.com)

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**महाराष्ट्र शासन**  
**महसूल विभाग**  
गाव नमुना नंबर ७/१२ व ८ अ, मालमता पत्रक पाहणे



MAHA Bhulekh (i.e. Maharashtra)
मुख्यपृष्ठ



ahwal Date : 27/07/2023

Village Form Seven ( Records of Right )  
[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]



36813917889

Village :- gokhivre ( 944016 )  
ulpin : 36813917889

Taluka :- vasai  
bhumapan kramank v upavibhag : 63/2/1

District :- palghar

Tenure Type :- bhogavatadar varg -1		shetache sihanik nao :-				Mutation number	Tenancy, Rent & Other Rights
Area, Unit & Assessment	khata kra	Name of the occupant	Area	Assessment	Uncultivable		
Arm Unit dunsdek bin sheti Assessment	181 1286 164.40.00 1644.00	devendra rajnikant ladhani	16.54.00	169.68		(5348)	Name of the tenant and Rent
		dhartiya railway	45.80.00			(4648)	Other Rights
		muzrashtan sanyas dev alparas housing samed estate rylatarns pra.ll., farab daitrekar devendra rajnikant ladhani	181.65.00	1816.68		(5319)	akreshit vapar 85 % r g. 4999.81 chasmi. ( 4379 ) 5 % c f e 1666.60 chasmi. ( 4379 ) chikding road - 584.45 chasmi. ( 4379 ) h s rajarveshan - 838.92 chasmi ( 4379 ) m samed sa r rjarveshan 1844.77 chasmi ( 4379 ) l dikhoo c rjarveshan -20912.82 chasmi ( 4379 ) g rjarveshan -2163.80 chasmi ( 4379 ) d f e c 11371.92 chasmi. ( 4379 ) d p road 15465.56 chasmi. ( 4379 ) kala rjarveshan -8086.97 chasmi ( 4379 ) p g rjarveshan -8289.54 chasmi ( 4379 ) [ see ] 4648 [ western railway ferd last deraathi bhumapan kramank v upavibhag : 63/2/1 ]
		( 0000 ) [ shubhama valens surph duning lopis [ valens valens surph duning lopis [ samile Area				(5348) (5348) 0.00.00	
		( 3448 ) [ raymond demant surph duning lopis [ rishant demant surph duning lopis [ nelson demant surph duning lopis [ rajan demant surph duning lopis [ aphobha surph duning lopis [ mubandung lopis [ samile Area	828.60.00 0.00.00	6644.00 0		(5319) (5319) (5319) (5319) (5319) (5319) (5319)	4648 ) prashant kramank : maki. shetache pharav kramank : 5348 v Date : 25/02/2023
Line Mutation No. ( 171 ) ( 608 ) ( 1289 ) ( 1368 ) ( 3598 ) ( 3679 ) ( 3901 ) ( 4070 ) ( 4886 ) ( 4329 ) ( 4371 ) ( 4379 ) ( 4462 ) ( 4648 ) ( 5319 )							seema ani bhumapan chasmi

suchana : yah sanketasthavar darshavikeli mahiti he konatyahi shasakiy athawa kaydeysher babinsathi vaprat yanar nahi.

Village namuna bara ( pikanchi nondavhi )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yash gion 29 ]

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

bhumapan kramank v upavibhag : 63/2/1

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey.e chau.ine	hey.e chay.ine			hey.e chau.ine	
2019-20	amrasotra varsh							bitahadi	164.4000	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavikeli mahiti he konatyahi shasakiy athawa kaydeysher babinsathi vaprat yanar nahi.

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महाराष्ट्र शासन  
महसूल विभाग  
गाव नमुना नंबर ७/१२ व ८ अ, मालमता पत्रक पाहणे



MAHA Bhulekh (i.e. Maharashtra B)

मुख्यपृष्ठ



ahwal Date : 08/06/2023

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]

Village :- gokhivre ( 944016 )  
ulpin : 21275884770Taluka :- vasai  
bhumapan kramank v upavibhag : 63/2/2

District :- palghar



21275884770

Tenure Type : bhogavatadar varg -1		shetache sthanik nao :				Mutation number	Tengancy, Rent & Other Rights
Area, Unit & Assessment	khate kra	Name of the occupant	Area	Assessment	Uncultivable		
Area Unit : chowama Assessment : 313.00	181	devendra rajnikant lachani	17.98.00	313.00		( 3985 )	Name of the tenant and Rent
	1286	bhardya railway	13.48.00			( 4371 )	Other Rights [ ster ] ( 4070 ) [ western railway first border south bhumsapadan krishi shet ] ( 4078 ) shetach vakat - shivas ( Village shetach vakat ) 15 % r g. 4999.81 chawmi ( 4379 ) 5 % r c 1646.60 chawmi ( 4379 ) ekjating road - 614.45 chawmi ( 4379 ) fr s r jarvanhan - 638.92 chawmi ( 4379 ) ra s sadi m c r jarvanhan 1844.77 chawmi ( 4379 ) l dakhoo c r jarvanhan - 20912.82 chawmi ( 4379 ) g r jarvanhan - 2163.80 chawmi ( 4379 ) d r c 18371.59 chawmi ( 4379 ) d p r sadi 15465.56 chawmi ( 4379 ) mala r jarvanhan - 8086.87 chawmi ( 4379 ) p g r jarvanhan - 8249.54 chawmi ( 4379 )  grahantai farafar : nahi  shetach ghurfar kramank : 4466 v Date : 13/07/2017
Join Mutation No. ( 689 X 1369 X 1581 X 1682 X 1661 X 2879 X 2925 X 3139 X 3904 X 3985 X 4878 X 4886 X 4371 X 4379 X 4466 )							seema ani bhumapan chitke :

suchana : yah sanketashilavar darshavilchi mahiti he konatyahi shasakyi adhawa kaydeysheet babinsahi vaprata yenar nahi.

Note :- yah 7/12 varil Village namuna - 12 madhil pikanchi Total Area hoy sakrutadarshani Village namuna - 7 chya ekun kshetrachya melat nahi. yabhabat sambandhitanni pikanchya kshetrachi durusti karoon ghyavi.  
Village namuna bara ( pikanchi nondavhi )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yuti nam 29 ]

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

bhumapan kramank v upavibhag : 63/2/2

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey.c chowme	hey.c chowme			hey.c chowme	
2019-20	asharpoora varshi							bhoketi	31.3908	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketashilavar darshavilchi mahiti he konatyahi shasakyi adhawa kaydeysheet babinsahi vaprata yenar nahi.

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यमावटी अनुषंग आणि सवातक भूमि अधिलेख कार्यालय  
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दूरधनी : ०२०-२६५५००५६, ई-मेल : dirmah[dot]mah[at]mco[dot]in

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मुख्यपृष्ठ

ahwal Date : 25/08/2022



## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]

Village :- gokhivre ( 944016 )  
ulpin : 13560936241Taluka :- vasai  
bhumapan kramank v upavibhag : 63/3

District :- palghar



13560936241

Tenure Type :- bhogavatadar varg -I		shetache sthanik naa :-				Mutation number	Tenancy, Rent & Other Rights
Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable		
Area Unit Hec.Acre.Sq.meters a) Irrigated Area Non-Irrigated Irrigated Total cultivable Area b) Uncultivable Area (Irrigated & Dry) Class (A) Class (B) Total po.kh. Total Area (a+b) Assessment Special Assessment	101	devendra rajnikant ishkani	0.02.00	0.06		(517)	Name of the tenant and Rent : Other Rights Lafada Lafada ( 631 ) [ 100 ] ( 4086 ) [ western railway shed border darvadi bhumi padam lathi ahe ] ( 4086 ) pralambit farar : aah. shetache pherfar kramank : 6432 v Date : 28/02/2017
<div>भूमि अभिलेख निर्णायक</div> <div>ई महा भूमि</div> <div>For View Only</div>							
Line Mutation No. : 1 300 X 400 X 526 X 517 X 632 X 1268 X 2624 X 3040 X 4078 X 4086 X 4130 X 4200 X 4257 X 4258 X 4432 X 4545							seema su bhupapan chikhe :-

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakyi aghawa kaydayshoor babinsathi vaprata yonar nahi.

## Village samana bara ( pikanchi mondvhi )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yeul niam 29 ]

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

bhumapan kramank v upavibhag : 63/3

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					K. chitani	K. chitani				
2011-12	amaporn varsh	101						gevat pad	0.0200	
2012-13	ibharig	101						gevat pad	0.0200	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakyi aghawa kaydayshoor babinsathi vaprata yonar nahi.

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ब्रह्मवर्दी आयुक्त आणि संवत्सक भूमि अभिलेख कार्यालय  
लिसस मालम. नवीम प्रशासकीय इमारत, कोसिल हॉल समोर, पुणे  
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MAHA Bhulekh (i.e. Maharashtra B

मुख्यापृष्ठ



Government of Maharashtra

ahwal Date : 29/01/2024

**Village Form Seven ( Records of Right )**

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]

Village :- gokhivra ( 944016 )  
ulpin : 23146756094

**Tajuka :-** વાસન

District :- palghar

bhumapana kramank v upavibhag : 64/2



23145768004

Tenure Type : bhogavatadar varg -1 shetache sthanik nao

Tenure type : bhogavatakar varg-1		Bhogaavatakar Varg-1			Tenancy, Rent & Other Rights	
Area, Unit & Assessment		khate kra.	Name of the occupant	Area	Assessment	Uncultivable Mutation number
Area Unit	अ.कम.रि.च.वा.अ.क.म.रि.	181	devendra rajnikant ladhani	6.79.80	57.98	( 5348 )
अक्रेषक	Area	1817	may.rajesh aneysa devajpasa housing sand estate	34.71.08	247.08	( 5319 )
बि.शे.अ.	49.58.00		chhatrasa prali, tarlo dalraider devendra rajnikant			
Assessment	495.80		ladhani			
		[ 3438 ]	[ shobhana valter surph valter lopis — samikr Area —	0.01.00	0	( 5348 ) ( 5345 )
		[ 3438 ]	[ rajaramd de ramnik surph durning lopis [ richard de ramnik surph durning lopis [ richard de ramnik surph durning lopis [ rajen de ramnik surph durning lopis [ saphin de ramnik surph [ surph durning lopis — samikr Area —	40.50.80	366.80	( 5319 ) ( 5319 ) ( 5319 ) ( 5319 ) ( 5319 ) ( 5319 ) ( 5319 )
				0.00.00		( 5319 )
<p>भूमिअभिलेख निर्णयात्</p> <p>ई महाभूमि</p> <p>For View Only</p>						
<p>Name of the tenant and Rent</p> <p>Other Rights</p> <p>अक्रेषक वगार - रुकिया (Villagerhandukeril)</p> <p>15 % र प. 4999.81 chaurul. 5 % र प. 1666.60 chaurul. ( 4379 )</p> <p>h o rjarvahan - 838.92 chaurul ( 4379 )</p> <p>m ased m c rjarvahan 1044.77 chaurul eljigir road - 614.45 chaurul ( 4379 )</p> <p>l chbloo c rjarvahan - 289.12.82 chaurul ( 4379 )</p> <p>g rjarvahan - 3163.88 chaurul ( 4379 )</p> <p>d r c c 18371.93 chaurul. ( 4379 )</p> <p>d p road 15465.56 chaurul. ( 4379 )</p> <p>malu rjarvahan - 8086.87 chaurul ( 4379 )</p> <p>p g rjarvahan - 4209.94 chaurul ( 4379 )</p> <p>[ samk ( 4548 )</p> <p>[ western railway freed land ramnik bhushanpadan kelli ahe ( 4548 )</p> <p>[ area 641 - 642 - 643 pramane Area 8-644 ( 4648 )</p> <p>pralambt farafar : nahi.</p> <p>shavacha pharfar kramuk 8348 v Date : 15/02/2023</p> <p>source ani bhumapen chue :</p>						
<p>area Mutation No. ( 688 X 1289 X 1368 X 3580 X 3678 X 3981 X 4878 X 4886 X 4379 X 4462 X 4850 X 5319 )</p>						

suchana : yah sanketastilavar darshavileli mahiti he konatyahi shasakry aghawa kaydeysheer babinsathi vapraze yenzar nahi

**Village samuna bara ( pikanchi nondavhi )**

[ Maharashtra Land Records Revenue Records of Eight and Registers (Book Keeping) Rule 1971 yarı nizam 29

Village .- gokhivre ( 944016 )

Tajuka :- vagnā

**District :- palghar**

blumapan kramank v upavibhag : 64/2

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khaza kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					key.n chou.me	key.n chou.me			key.n chou.me	
2015-16	summer season							brick etc	40.5000	

Note : \* sadrachi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthityar darshavileli mahiti he konatyahi shasakiiy athawa kaydeysheer babinsathi vaprata yonar nahi

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**जमावटी आयुक्त आणि संचालक भूमि अधिलेख कार्यालय**  
 तिसरा मजला, नवीन प्रशासक भवन इमारत, को-ऑपरेटिव्ह टाउनशिप, मुंबई  
 दूरध्वनी : ०२०-२६४०००६, ई-मेल : [drma@drma.gov.in](mailto:drma@drma.gov.in)

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महाराष्ट्र शासन  
महसूल विभाग  
गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे



MAHA Bhulekh (i.e. Maharashtra Bhumi Abhilekh)

मुख्यपृष्ठ



ahwal Date : 30/12/2023

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from State 1971 ]

Village :- gokhivre ( 944016 )  
ulpin : 18870370791

Taluka :- vasai  
bhumapan kramank v upavibhag : 64/3

District :- palghar



18870370791

Tenure Type : bhogavatadar varg -I		shetache shanik nao :				Mutation number	Tenancy, Rent & Other Rights
Area, Unit & Assessment	khate kra	Name of the occupant	Area	Assessment	Uncultivable		
Area Unit akrushak Area 100 sheti Assessment 809.08	181	detendra rajkumar jadhav	62.58.00	809.08		( 4648 )	Name of the tenant and Rent
	1296	bhaktiya railway	18.48.00			( 4648 )	Other Rights akrushak vapar - talvas (Village/Parashahori) 15 % r.g. 4999.81 chasani ( 4379 ) 5 % c.f.c 1666.60 chasani ( 4379 ) ekjating road - 614.45 chasani ( 4379 ) h v rijarvahan - 628.92 chasani ( 4379 ) m sard m c rijarvahan 1044.77 chasani ( 4379 ) l dabblo c rijarvahan -28912.82 chasani ( 4379 ) g r(r)arvahan -2163.80 chasani ( 4379 ) d f c c 11371.93 chasani ( 4379 ) d p road 15665.56 chasani ( 4379 ) m s r(r)arvahan -9006.87 chasani ( 4379 ) p p r(r)arvahan -8289.34 chasani ( 4379 ) [ non-J. 4648 ) [ wadavai-railwayroad-kandharvathi-bhimsampadan-belli-ahar ] ( 4648 ) [ non-644-642-644-3-pramane-Area-644 ] ( 4648 ) pralambit ferar : nahi shetachhi pherar kramank : 4648 v Date : 13/05/2019
Joint Mutation No. ( 161 X 608 X 1368 X 1501 X 1502 X 2870 X 3139 X 3900 X 3905 X 4070 X 4086 X 4379 X 4466 )							seema ani bhumapan chitche :

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakiy aihawa kaydeystheer babinsathi vaprala yonar nahi.

## Village namuna bara ( pikanchi wondavhi )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yafli nam 29 ]

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

bhumapan kramank v upavibhag : 64/3

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hry.r. chou me	hry.r. chou me			hry.r. chou me	
2019-20	zari-pooran varsh							blakred	80.9008	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

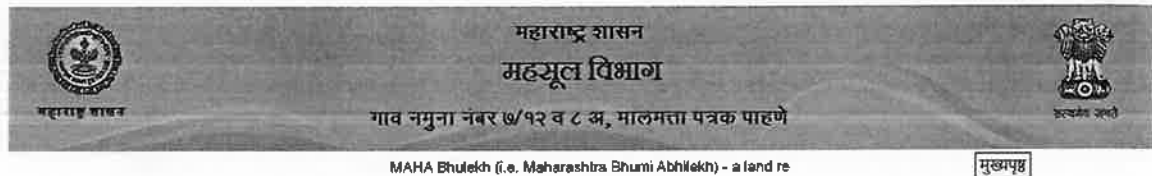
suchana : yah sanketasthavar darshanileli mahiti he konatyahi shasakiy aihawa kaydeystheer babinsathi vaprala yonar nahi.

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बनावटी आयुक्त आणि संचालक भूमि अभिलेख कार्यालय  
सिंदूर मजला, नवीन प्रशासकीय इमारत, कोमल हॉल समोर, पुणे  
दुरधनी : ०२०-२६००००५, ई-मेल : dirmah@dotmah[at]nic[dot]in

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abwal Date : 04/04/2024

Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Bolt Keeping) Rule 1971 Rules 1, 3, 6 and 7 from Rule 1971 ]

Village :- gokhivre ( 944016 )  
pu-id : 38222703160

**Tabuka :- vasai**


**District :- palghar**



36222703160

**Tenure Type :** bhogavatadar varg -1

shetache shamik nao

Area, Unit & Assessment		khate kra.	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area, Unit	in chawathia chaw. scheme.	[ 242b ]	[ rakesh Kumar kishor singh verma ]	26.70.00	726.00		( 4669 )	Name of the tenant and Rent
akreshak	Area							
him sheti	72.18.00	1286	bharatra railway	35.48.00			( 4640 )	Other Rights
Assessment	726.00	1826	may. sai cidam riyalsara pra. li. tarfe dalrakhtar devendra rajnikant ladhani	36.70.00	721.00		( 4669 )	akreshak vapar 15 % r g. 4999.31 chawm. ( 4379 ) 5 % r f e 1666.08 chawm. ( 4379 ) ekjisting road - 614.65 chawm. ( 4379 ) R s rjavarshan - 638.92 chawm ( 4379 ) m sand m e rjavarshan 1044.77 chawm ( 4379 ) l dabbos e rjavarshan -28912.82 chawm ( 4379 ) p rjavarshan -2163.00 chawm ( 4379 ) d f e e 11371.93 chawm. ( 4379 ) d p rual 15463.56 chawm. ( 4379 ) nala rjavarshan -8066.87 chawm ( 4379 ) p g rjavarshan -8289.94 chawm ( 4379 ) [ ian-j 4646 ) [ western railway fed land estate] the company in li the Area 0.3150 ( ( 4548 )
 <p>ई महा भूमि</p> <p>भूमिअभिलेख निर्णयात्</p> <p>For View Only</p>								<p>pralambai fadar : nahi.</p> <p>shewacha pterfar kransak : 4772 v Date : 19/02/2020</p>
<p>Line Mutation No. ( 180 M 512 M 871 M 872 M 1306 M 1348 M 1400 M 1459 M 1783 M 1893 M 4870 M 4886 M 4339 M 4371 M 4379 M 4466 M 4648 M 4669 M 4772 )</p>								<p>seema ani bhupanna chitne :</p>

suchana : vah sanketasthavar darshavileli mahiti he konatyahi shasakry ahswa kaydeysheer bahinsarhi vaprata yonar nahi.

Village mamuna bara ( pikanchi nondavhi )

[Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 until section 29]

Village :- gokhivre ( 944016 )

**Taluka :- vasai**

District :- palghar

bhumapan kramank v upavibhag : 65

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khaia kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					heyr.e choi.ue	heyr.e choi.ue			heyr.e choi.ue	
2005-20	sonnabot vanh							biachail	72.000	

Note : \* sadrachi pond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshan ileli mahiti he konayahi shasakiv athawa kaydevsheer babinsathi vapraya venar nabi

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तिसरा मजला, नवीन प्रशासकीय इमारत, कोन्सिल हाउस समोर, पुणे  
दूरध्वनी : २२०८२६०१/२२०८२६०२ ई-मेल : [dirmah\(dot\)mah\(at\)nic\(dot\)in](mailto:dirmah(dot)mah(at)nic(dot)in)

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ahwal Date : 30/11/2023

**Village Form Seven ( Records of Right )**

1 Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971

Village :- gokhivre ( 944016 )  
 ulpin : 25817389172

Taluka :- vasai

District :- palghar

bhumapau krāmank v upavibhag : 68/1



25017309172

Tenure Type :		bhogavatadar varg -I		shetache sthanik nao :				
Arca. Unit & Assessment		khato kra.	Name of the occupant	Arca	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Arca Unit	222	श्रीराम लक्ष्मी देवी					(4694)	Name of the tenant and Rent
अंशद्वारा	Arca	1 जमीन-मालिक-देवी				1	(5089)	
बिना शेत	51.30.00	1 जमीन-मालिक-देवी		20.00.00	205.00	1	(5425)	Other Rights
Assessment	513.00	कृष्ण लक्ष्मी देवी					(5425)	
		समूहिक अंश		31.00.00	385.00			
	571	सुरेश मोहन खान	भूमिअभिलेख निर्धारण	12.02.00	128.00		(5099)	
ई महा भूमि								
For View Only								
जुने Mutation No. ( 128 व 169 व 317 व 594 व 1025 व 1360 व 1494 व 2096 व 2109 व 2853 व 3616 व 3826 व 3925 व 4160 व 4434 व 4542 व 4694 व 5089 व 5179 )								
seema ani bhupaman chitrite :								

suchana : yah sanketasthavar darshayileli mahiti he konatyaki shasakiy alhawa kaydevsheer babinsathi vaprata yenzar nahi.

**Village wamuna bara ( pikanchi mondavhi )**

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yathā nīcan 29 ]

Village :- golkhivre ( 944016 )

**Taluka :- vasai**

**District :- palghar**

bhumapari kramank v upavibhag : 68/1

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hect. chou.me	hect. chou.me			hect. chou.me	
2019-20	anapadema vashi							khuraba	0.0470	
								as.	0.4660	

**Note :** \* sadrachì nond mobile ap dvaren ghenet aleli ahe

suchana : yah smarakasthavar darshavileli mahiti he konatyahi shasakyi aghawa kaydcysheer babiasathi vaprata yenar nahi.

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जमावदी आयुक्त आणि संचालक भूमि अभिलेख कार्यालय  
तिसरा मजला, नवीन प्रशासकीय इमारत, कौन्सिल हाउस समोर, पुणे  
दूरध्वनी : २७६-२६०१०००६, ई-मेल : [dirmah@mahatma\[at\]nic\[dot\]in](mailto:dirmah@mahatma[at]nic[dot]in)

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	<b>महाराष्ट्र शासन</b> <b>महसूल विभाग</b> <b>गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे</b>	
MAHA Bhulekh (i.e. Maharashtra B)		मुख्यपृष्ठ



## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]

ahwal Date : 31/01/2024



31467721480

Village :- gokhivre ( 944016 )  
ulpin : 31467721480Taluka :- vasai  
bhumapan kramank v upavibhag : 68/3

District :- palghar

Area, Unit & Assessment	bhogavatadar varg -1	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit	litre.Are.Sq.mtr	462	inao sala perera			(2169)	Name of the tenant and Rent
a) lagavad yogya Area			masdeen sala perera			(2169)	Other Rights
Non-irrigated	0.72.00		same Area	0.72.00	7.00	0.16.00	[ area ] ( 4125 )
Irrigated	-						[ masdeen sala perera ] ( 4125 )
Total culturable Area	0.72.00						chattar-shik ( 4125 )
b) Uncultivable Area (lagavad ayogya)							grahamati ferasar : nahi.
Class (A)	0.16.00						chattar-shik perfer kramank : 5625 v Date : 31/01/2024
Class (B)	-						
Total po lb.	0.16.00						
Total Area (a+b)	0.88.00						
Assessment	7.00						
Special Assessment	-						

ई महा भूमि

For View Only

Area Mutation No. ( 128 X 317 X 1025 X 1474 X 2169 X 3616 X 3826 X 4166 X 4424 X 4542 X 5625 )

Area and bhumapan chitro.

suchana : yah sanketashlavar darshavileli mahiti he konatyahi shasakyi athawa kaydeysheer babinsathi vaprata yonar nahi.

## Village namuna bara ( pikanchi nondavhi )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yadi nam 29 ]

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

bhumapan kramank v upavibhag : 68/3

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey.r.	hey.r.			hey.r.	
					chattar-shik	chattar-shik			chattar-shik	
2022-23	khari	462*						gavat pad	0.72.00	

Note : \* sadrachi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketashlavar darshavileli mahiti he konatyahi shasakyi athawa kaydeysheer babinsathi vaprata yonar nahi.

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 अमावसी आणि संचातक भूमि अभिलेख कोषांतर्गत  
 होयरा मालिका, नविले प्रशासकीय सुमारे, ओपनप्लॉटिंग सुमारे, पुणे  
 दूरधर्मी : ०२०-२६००००६, ई-मेल : drmah@mahabhumigov.in

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MAHA Bhulekh (I.)

मुख्यपृष्ठ



Government of Maharashtra

ahwal Date : 11/07/2023

## Village Form Seven (Records of Right)

[Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 8971]



12121041227

Village :- gokhivre ( 944016 )  
ulpin : 12121041227Taluka :- vasai  
bhumapan kramank v upavibhag : 69/4

District :- palghar

Tenure Type : bhogavatadar varg -1		shetache shanik naad :				Mutation number	Tenancy, Rent & Other Rights
Area, Unit & Assessment	khata kra.	Name of the occupant	Area	Assessment	Uncultivable		
Area Unit : e chas machas suwar.	668	vasai vitar shahar mahanagerpalika	7.53.87	75.39		( 5468 )	Name of the tenant and Rent
slomshik Area						( 5148 )	
bin chak 8.10.00		[ 4949 ] [ mahat-sandak-dhede				( 5148 )	Other Rights
Assessment 81.00		[ mansh-mansh-chhede	0.20.00	84.00		( 5148 )	nikada
		— samile Area —	0.00.00	0			ekade ( 632 )
	2017	may-rashmi sanyal devapara housing and estate		5.61		( 5468 )	
		rystara prali					prashanti kharar : nahi.
							shetake pherar kramank : 5468 v Date : 11/07/2023

pane Mutation No. : ( 217 X 632 X 1368 X 1534 X 1617 X 3468 X 3736 X 3850 X 3978 X 4432 X 4542 X 5067 X 5148 )

: samik.soni bhumapan chakhe :

suchana : yah sankotsasthavar darshavileli mahiti he konaryahi shasakiy adhawa kaydeyshore babinsathi vaprata yonar nahi.

## For View Only

Village namuna bara ( pikanchi nondavbi )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yath nara 29 ]

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

bhumapan kramank v upavibhag : 69/4

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey.n	hey.n			hey.n	
					chou.me	chou.me			chou.me	
2019-20	akrasmon varsh							breakoff	8.0000	

Note : \* sadrachi nond mobile ap dvaren ghenet aleti ahe

suchana : yah sankotsasthavar darshavileli mahiti he konaryahi shasakiy adhawa kaydeyshore babinsathi vaprata yonar nahi.

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समावदी अपुस्त आणि संवातन आणि अधिवेश कार्यवाय

सिधरा मल्ल नवीन प्रशासकीय इमारत, कोमिल लॉय समोर, मुंबई

दूरध्वनी : ०२०-२६०५०००६ ई-मेल : dlmah(dot)mah(at)nic(dot)in

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महाराष्ट्र शासन  
महसूल विभाग

गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे



MAHA Bhulekh (i)

मुख्यपृष्ठ



aktwal Date : 11/07/2023

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]

Village :- gekhivre ( 944016 )  
ulpin : 25480469961

Tahuka :- vassai  
bhumpan kramank v upavibhag : 69/5

District :- palghar



25480469961

Tenure Type : bhogavatadar varg - I		shetache shanik nao :				Mutation number	Tenancy, Rent & Other Rights
Area, Unit & Assessment	khate kra	Name of the occupant	Area	Assessment	Uncultivable		
Area Unit ekrusak Area bio shet Assessment 2.00	668	vassai vassai dhar mahanagopalka	1.61.15	1.41		( 5468 )	Name of the tenant and Rent
	[ 3348 ]	[ mahesh-santosh-shinde ]			1	( 5148 )	Other Rights
		[ muresh-muresh-shinde ]	2.00.00	2.00	1	( 5148 )	shetda
		— sanik Area —	8.00.00	0			shetda ( 632 )
	2017	may.rahul amey devalpara housing and estate	0.38.35	0.39		( 5468 )	pendarabhi ferasar : nahi.
		ryhtarsa prs li.					shetucha pherfer kramank : 5468 v Date : 11/07/2023
pune Mutation No. ( 13 ) ( 632 ) ( 1330 ) ( 1368 ) ( 1714 ) ( 2449 ) ( 3468 ) ( 3726 ) ( 3850 ) ( 3978 ) ( 4432 ) ( 4542 ) ( 5067 ) ( 5148 )							seema ani bhumpan kinhe :

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakyi athawa kaydeysheer bobinsathi vaprata yonar nahi.

For View Only

Village namuna bara ( pikanchi nondavhi )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yathi niam 29 ]

Village :- gekhivre ( 944016 )

Taluka :- vassai

District :- palghar

bhumpan kramank v upavibhag : 69/5

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey.n choo.rne	hey.n choo.rne			hey.n choo.rne	
2019-20	saanjosara varak							bhakeri	2.0000	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakyi athawa kaydeysheer bobinsathi vaprata yonar nahi.

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महाराष्ट्र शासन  
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गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे



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MAHA Bhulekh (i.e. Mah

मुख्यपृष्ठ



Government of Maharashtra

ahwal Date : 20/03/2024

## Village Form Seven (Records of Right)

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]



27089255264

Village :- gokhivve ( 944016 )  
pu-id : 27089255264Tabuka :- vasai  
bhumapan kramank v upavibhag : 72

District :- palghar

Tenure Type : bhogavatadar varg -I		shetache sthanik nao :				Mutation number	Tenancy, Rent & Other Rights
Area, Unit & Assessment	khate kra	Name of the occupant	Area	Assessment	Uncultivable		
Area Unit : chhos mechu.samun	181	devendra rajikant bhadani	55.20.00	552.00		(4867)	Name of the tenant and Rent
akrushik Area	249	philomine godfree perdes				(3906)	Other Rights
bio sheti	73.68.00	Mera punal lopis				(3906)	akrushik vapar
Assessment	736.80	pasol julya(joep) lopis				(4867)	manushikhar vasa) yanchhodil lra.mahadik-1/te-1/janinabhi/Avai-2u-640/2019 41.29/11/2019 anayge maharashtra jurni mukhal adhinijay 1966 che kalate 4226 madhi savudinasar keval sapontara kar v bishet shakarchi rakham vand karanyai ani anu tyankale apna jagetar alyaji akrushik vapar krayarchi aniyas tyapuri sambandit niyajas pradikarvachi v itar avayak ty a pradikarvachi parvaprasagi ghene baddhakararak rakhi. ( 4867 )
		samele Area	19.48.00	194.80		(4595)	pralambit krayar : nahi
		[ 362 ] [ rajesh-rajendrakumar ]				(4595)	shetacha pherak kramank : 4867 v Date : 12/03/2020
							seema ani bhumapan chinhe :

junc Mutation No ( 35 X 608 X 8838 X 1274 X 1368 X 1436 X 1982 X 2599 X 2986 X 4136 X 4465 X 4542 X 4595 X 4867 )

suchana : yah sanketashtilavar darshavileli mahiti he konatyahi shasakiy athawa kaydeysheer babinsathi vaprata yonar nahi.

## Village mamans bara ( pikanchi mondayhi )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 year 2019 ]

Village :- gokhivve ( 944016 )

Tabuka :- vasai

District :- palghar

bhumapan kramank v upavibhag : 72

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					heyr.	heyr.			heyr.	
					chhos.me	chhos.me			chhos.me	
2019-20	samposan varsh							khosha	0.8488	
								pad	0.6988	

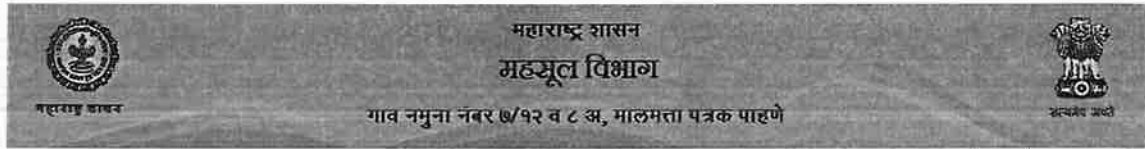
Note : \* sadrachhi nood mobile ap dvaren ghenet aleti ahe

suchana : yah sanketashtilavar darshavileli mahiti he konatyahi shasakiy athawa kaydeysheer babinsathi vaprata yonar nahi.

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Government of Maharashtra

Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]

ahwal Date : 27/07/2023

Village :- gakhivre ( 944016 )  
ulpin : 25643808148

**Taluka :- vasai**

District :- palghar

bhumapan kramank v upavibhag : 73



25643608148

Tenure Type : bhogavatadar varg -f

shetache shanik nao :

Area, Unit & Assessment	khate kra	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit e.Chan, r/c, chas, spt, etc. akurshik Area bin sheti 109.88.80 Assessment 1096.80	181	devendra rajnikant todhad	02.35.00	023.80		(4667)	Name of the tenant and Rent
	249	philomina gadtree peteira Idara post lapis pasool jufra (ojep) lapis murshik Area	27.45.00	275.80		(2986) (2986) (4667)	Other Rights akurshik vapar m. sahalidhar vasa yashoda di kor, mahad/6-1/7a-1/jeoninab /kavi/asar- 648/2019 dk 29/11/2019 anwaye maharashtra Jamia mahul adhinlyam 1966 che kulam 422b madhil tartudinisar keval rupantaran kar v binsheti akarnichi raklam vanti karanyat soti asan tyasale apno jagvay r nyojok akurshik vapar karanyacha asany tyapavri sambandhi nyojoan pradhikarnachi v itar avanyak tya pradhikarnachi gauravapavangi ghene bandhakararak rahit. (4667) pralambit farfar : nahi. shetvacha pherfar transatir : 4667 v Date : 12/03/2028
	[ 962- ]	[ rahesh rajendraharwar ]				(4608)	

suchana : yah sanketasthavar darshavileli mahiti he konaryahi shasakriy athawa kaydeysheer babinsudi vaprata yonar nahi.

**Village namuna bara ( pikanchi nondavhi )**

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 यादव नम 29 ]

Village :- gokhivre ( 944016 )

Tajuka :- vasañ

**District :- palghar**

bhumapan kramank v upavibhag : 73

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	Kkaka kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hec.h. choo.me	hec.h. choo.me			hec.h. choo.me	
2019-20	khampou ree vaah							khampou	0.0388	
								pad	1.8600	

**Note :** \* sadrach'i nond mobile ap dvaren ghenet ale'i ahe

**suchama** : yah sankerasthavar darsnavileli mahiti he konatyahi shasakiy aihawa kaydeysheer babinsathi vaprata yenar nahi.

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महाराष्ट्र शासन  
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MAHA Bhulekh (i.e. Maharashi)

मुख्यपृष्ठ



ahwal Date : 28/08/2022

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Date 1971 ]

Village :- gokhivve ( 944016 )  
ulpin : 18240958832

Taluka :- vasai  
bhumapam kramank v upavibhag : 75/1

District :- palghar



Tenure Type :- bhogavatadar varg -I		shetache sthanik nao :				Mutation number	Tenancy, Rent & Other Rights
Area, Unit & Assessment	khata kra	Name of the occupant	Area	Assessment	Uncultivable		
Area Unit r.dhos me akhandak Area 33.48.00 Assessment 334.00	181	devendra rajakant ladhani	33.40.00	334.00	( 4215 )		<p>Name of the tenant and Rent :</p> <p>Other Rights</p> <p>shrushti vapor - palvas (Villagekashahoni)</p> <p>30mtr d p road (religned) 2421-76 chasmi. ( 4381 )</p> <p>area under he (relocated) 4957-86 chasmi. ( 4388 )</p> <p>area under m and se (relocated) 3417-86 chasmi. ( 4381 )</p> <p>c.e. 5% 410-68 chasmi. ( 4381 )</p> <p>n.p. 15% 4232-05 chasmi. ( 4381 )</p> <p>pradhanit feradar : nahi.</p> <p>shetachha phurkar kramank. - 4462 v Date : 06/07/2017</p> <p>seema ani bhumagan chahbe :</p>
<p>For View Only</p>							
<p>For View Only</p>							

suchana : yah sankatashtavar darshavilci mahiu he konatyahi shasakiy athawa kaydeysheer babinsathi vapraa yenar nahi.

## Village namuna bara ( pikanchi nondavhi )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yadli oian 29 ]

Village :- gokhivve ( 944016 )

Taluka :- vasai

District :- palghar

75/1

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					r. chou.me	r. chou.me			r. chou.me	
2019-20	saugandhi varak							binshet	33.4000	

Note : \* sugruchi samd mobile ap divara ghoset ali ali oio

suchana : yah sankatashtavar darshavilci mahiu he konatyahi shasakiy athawa kaydeysheer babinsathi vapraa yenar nahi.

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ahwal Date : 04/04/2024

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]

Village :- gokhivre ( 944016 )  
pu-id : 24040574940

Taluka :- Vasni

District :- palghar

bhumapan kramank v upavibhag : 75/2/1



240,057,4940

**Tenure Type :**

**bhogavatadar varg -1**

shetache sthanik nao :

[illegible]

suchana : yah sanketasthavar darshavileli maheli he konaryahi shasaky ahawa kaydeysheer babinsachi vaprata yenar nahi

**Village namuna bara ( pikanchi nondavhi )**

[Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 ya] nimm 29

**Village :-** gokhivre ( 944016 )

**Taluka :- vasni**

District :- palghar

bhumapan kramank v upavibhag : 75/2/1

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	
					bey.r choo.me	bey.r choo.me			bey.r choo.me	
2017-20	2018/2019 Varik							khincheri	53000	

Note : \* sadrachi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthityar darshavileli mahiti he konatyahi shasakry adhaya kaydevsheer babicsathi vaprata vonar nahi.

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MAHA Bhulekh (i.e. N

मुख्यपृष्ठ



ahwal Date : 28/08/2022

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1973 Rules 3, 5, 6 and 7 from Rule 1971 ]

Village :- gokhivre ( 944016 )  
ulpin : 38960126583Taluka :- vasai  
bhupatan kramank v upavithag : 75/2/2

District :- palghar



Tenure Type :- bhogavatadar varg -1		shetache sthanik nao :				Tenancy, Rent & Other Rights
Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable	
Area Unit abwaddik Area 10.10.00 Assessment 101.00	101	devendra rajkanti (adhar)	10.10.00	101.00	( 4213 )	<p>Name of the tenant and Rent</p> <p>Other Rights</p> <p>tukada</p> <p>tukada ( 431 )</p> <p>tar</p> <p>30mtr d p road (religant) 2421-76 chaurani area under hc (relocated) 4957 -16 chaurani area under m and ac (relocated) 3417-16 chaurani, c.f.e. 5% 488-48 chaurani. eg. 15% 1232-85 chaurani ( 4381 )</p> <p>probable transfer : nahi.</p> <p>shevachhi pharfar kramank : 4545 v Date : 25/09/2010</p> <p>scoring and bhupatan chahre :</p>
Area Unit abwaddik Area 10.10.00 Assessment 101.00	101	devendra rajkanti (adhar)	10.10.00	101.00	( 4213 )	

भूमि अभिलेख निर्णायक

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suchana : yah sanketasthitar darshavilki mahiti he konatyahi shasakiy ahsawa kaydeysheer babinsathi vaprata yenar nahi.

## Village namuna bara ( pitamchi nondavhi )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1973 yadhi nam 29 ]

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

75/2/2

		Details of Area Under Crop						Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					स	र			र	
					chouline	chouline			chouline	
2019-20	karpooreo varsh							hinkar	10.10.00	

Note : \* sadarchi noud rounke up divaron ghewat sheli ahe

suchana : yah sanketasthitar darshavilki mahiti he konatyahi shasakiy ahsawa kaydeysheer babinsathi vaprata yenar nahi.

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विस्तार मल्ला, नवीन प्रशासकीय इमारत, कोनारत हात समार, पुणे  
दूरध्वनी : ०२०-२६०५०००६, ई-मेल : dirmah@doj.mah.gov.in

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shwal Date : 28/08/2022

## Village Form Seven ( Records of Right )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 )

Village :- gokhivire ( 944016 )  
ulpan : 32590626529Taluka :- vasai  
bhumagan kramank v upavibhag : 75/3

District :- palghar



32590626529

Tenure Type :		bhogavatadar varg -I		shetache shanki nao :				
Area, Unit & Assessment		khate kra.	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit ..... ekrothak Area bin. sheti 19.28 00 Assessment 19.28		181	devendra rajnikant ladhani	19.28.00	192.80		( 4357 )	Name of the tenant and Rent ..... Other Rights nikada nikada ( 632 ) sar Shetir d p road (religned)2421-76 chasmi. area number 16 (relocated)4957-16 chasmi. area under m and se (relocated) 3417-16 chasmi. c.f.c. 5% 410-58 chasmi. e.g. 15% 1232-05 chasmi. ( 4381 ) ..... pralambit shetkar : nahi. ..... shetecha phurkar kramank : 4545 v Date : 26/09/2018 ..... seema ani bhumagan chuthe :
Joint Mutation No. ( 300 X 480 X 526 X 632 X 1240 X 2624 X 3040 X 4130 X 4200 X 4257 X 4259 X 4381 X 4382 X 4383 X 4384 X 4385 )								.....



suchana : yah sanketashilavar darshavileli mahiti he konatyahi shasakyi athawa kaydoyshet babinsathi vaprata yenar nahi.

## Village namuna bara ( pikaschi nondavhi )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yati nian 29 )

Village :- gokhivire ( 944016 )

Taluka :- vasai

District :- palghar

: 75/3

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					E choukare	E choukare			E choukare	
2019-20	sarpooran varsh							Mashed	19.2800	

Note : \* andruchi nand mobile ap divan ghona sheti use

suchana : yah sanketashilavar darshavileli mahiti he konatyahi shasakyi athawa kaydoyshet babinsathi vaprata yenar nahi.

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सुचना : या संकेतस्थलावर दर्शविलेली माहिती ही कोणत्याही शासकीय अथवा कायदेशीर बाबींसाठी वापरता येणार नाही.  
जमावटी भागूला आणि संपादक भूमि अभिलेख कार्यालय  
महाराष्ट्र राज्य, नवीन प्रशासकीय इमारत, कोर्टात खंड नगरी, पुणे  
दूरध्वनी : २२-२६०५०००५, ई-मेल : dlmah@dotman[at]nic[dot]in

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approval Date : 04/04/2024

**Village Form Seven ( Records of Right )**

[ Maharashtra Land Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]

Village :- gakhivra ( 944016 )  
pu-ld : 32253707325

**Taluka :- Vasai**

**District :- palghar**

bhumapan kramanik v upavibhag : 75/4



32253707325

Tenure Type : bhogavatadar varg -1

shetachc sthanik nao :

Area, Unit & Assessment	khatra	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit 10.18.00 Assessment 101.00	736	anil ramchandra gupte	10.10.00	101.00		(3821 )	Name of the tenant and Rent  Other Rights taluka taluka ( 632 ) [main-sharte] ( 3821 ) [tenant-sharte] ( 3821 )  for 30mtr d p road (religated) 2421-76 channel. area under bc (religated) 4957 -16 channel. area under m and ac (religated) 3417-16 channel. c.f.c. 5% 418-68 channel. n.g. 15% 9232-85 channel. ( 4381 )  probable fevafar : nahi.  sheshtacho pharlar karmak : 4620 v Date : 19/02/2028
For View Only							Shesht ani bhumam chikhe :

**suchana :** yah sanketasuhavar darsavilcchi mahiti he konatyahi shasakiy adhiwa kaydoyshcer babinsathi vaprata ycnar nahi.

**Village namuna bara (pikanchi nondavhi)**

[Malabar District Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 until now 19

Village :- golkhivra ( 944016 )

**Tejuka :-** wasai

District :- palghar

bhumapan kramank v upavibhag : 75/4

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	
					heyr. ghasane	heyr. choa.me			heyr. choa.me	
2019-20	sambhoshan varsha							bioherd	16.1088	

Note : \* sadrachì nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketashtavar darshavileli mahati he konatyahi shrasakiy ahuwa kaydeysheer babiusahi vaprata yonar nahi.

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सुचना : या संकेतनखण्डादरवीकितेली माहिती ही कोणत्याही खासकीय अप्रत्यक्ष कायदेशीर बाबीसहती वापरता येणार नाही.  
जमावती आणुक्त आणि संवादक भूमि अधिकृत कार्यालय  
तिसरा मळा, नवीन प्रशासकीय इमारत, कोमलत इति संसार, पुणे  
दूरध्वनी : ०२०-२६०५०००१, ई-मेल : dcmah@dcma.gov.in/india@dcma.gov.in

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महाराष्ट्र शासन  
महसूल विभाग

गाव नमुना नंबर ७/१२ व ८ अ, मालमता पत्रक पाहणे



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मुख्यपृष्ठ

ahwal Date : 28/08/2022



## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]

Village :- gokhivre ( 944016 )  
ulpin : 38049022135

Tahuka :- vasai  
bhumapan kramank v upavibhag : 75/5

District :- palghar



38049022135

Tenure Type :- bhogavatadar varg -1		shetache shanik nao :-				Mutation number	Tenancy, Rent & Other Rights
Area, Unit & Assessment	khate kra	Name of the occupant	Area	Assessment	Uncultivable		
Area Unit akrahik Area bta sheti Assessment	734	ani ranchandra gepa	7.80.00	78.00		( 3757 )	<p>Mape of the tenant and Rent</p> <p>Other Rights</p> <p>nikada ( 632 )</p> <p>kar</p> <p>30meter 4 p road (religned) 2423-76 chasani, area under bc (relocated) 4857 -16 chasani, area under aa and ac (relocated) 3487-86 chasani, a.c.c. 5% 418-00 chasani, e.g. 85% 1232-08 chasani ( 4301 )</p> <p>pralambh sefarar : nahi.</p> <p>shetachas pherla kramank 4545 v Date : 27/09/2010</p> <p>seema ani bhumapan chitche :</p>
<p>June Mutation No. ( 609 X 632 X 1368 X 3069 X 3070 X 3081 X 3082 X 3757 X 4301 X 4522 X 4545 )</p> <p style="text-align: center; font-size: 2em;">ई महा भूमि</p> <p style="text-align: center; font-size: 1.5em;">भूमि अभिलेख निर्णयात</p>							

For View Only

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakiy aihawa kaydeysher babinsathi vapraia yonar nahi.

## Village mamuna bara ( pikanchi wondavhi )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yathi niam 29 ]

Village :- gokhivre ( 944016 )

Tahuka :- vasai

District :- palghar

bhumapan kramank v upavibhag : 75/5

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					रि chou.me	रि chou.me			रि chou.me	
2017-18	surgeon varsh							Maahel	7.8000	
2018-19	surgeon varsh							Maahel	7.8000	
2019-20	surgeon varsh							Maahel	7.8000	


Note : \* sadrachti nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakiy aihawa kaydeysher babinsathi vapraia yonar nahi.

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जमावटी आयुक्त आणि संचालक भूमि अभिलेख कार्यालय  
सिंदूर मजला, नवीन प्रशासकीय इमारत, कोर्नर हॉल समोर, पुणे  
दूरध्वनी : ०२०-२६०५०००६, ई-मेल : dirmah@dotmah.gov.in  
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महाराष्ट्र शासन  
महसूल विभाग  
गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे



MAHA Bhulekh (i.e.)

मुख्यपत्र



ahwal Date : 28/08/2022

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]

Village :- gokhivve ( 944016 )  
ulpin : 26603375000Taluka :- vasai  
bhumapan kramank v upavibhag : 75/7

District :- palghar



26603375000

Tenure Type :- bhogavatadar varg -I		shotache shikanik nao :				Mutation number	Tenancy, Rent & Other Rights
Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable		
Area Unit : r.chaulms shradak : Area bia sheti : 1.88.00 Assessment : 15.00	191	damendra rajokant (adhar)	1.80.00	18.00		( 4215 )	<p>Name of the tenant and Rent</p> <p>Other Rights</p> <p>nikada</p> <p>nikada ( 632 )</p> <p>kar</p> <p>30mar di p road (religned)3421-76 chaulms, area under hc (relocated)4957 -16 chaulms, area under m and ac (relocated)3417-16 chaulms, c.d.c. 5% 410-68 chaulms, e.g. 15% 1232-05 chaulms ( 4391 )</p> <p>prabandhi tenar : nahi</p> <p>sharchoke pharfar kramank : 4545 v Date : 26/09/2010</p> <p>asama ani bhumapan chise:</p>
<p>Joint Mutation No ( 632 ) ( 1368 ) ( 1440 ) ( 4215 ) ( 4391 ) ( 4432 ) ( 4545 )</p> <p style="text-align: center; font-size: 2em; font-weight: bold;">ई महा भूमि</p> <p style="text-align: center; font-size: 1.5em; font-weight: bold;">For View Only</p>							

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakiy aihawa kaydeysheer babinsathi vaprata yenar nahi.

## Village namums bara ( pikanchi nondavhi )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yatti nako 39 ]

Village :- gokhivve ( 944016 )

Taluka :- vasai

District :- palghar

: 75/7

		Details of Area Under Crop						Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area.	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					r. chaulms	r. chaulms			r. chaulms	
2019-20	surpoveren varsh							Wencheti	1.8000	

Note : \* sadarchi word mobile ap divarsa ghoset alihi ala

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakiy aihawa kaydeysheer babinsathi vaprata yenar nahi.

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जमावटी आयुक्त आणि संचालक भूमि अभिलेख कार्यालय  
महाराष्ट्र सरकार, नवीन प्रशासकीय इमारत, कोर्टसह इतर समार, पुणे  
दूरध्वनी : ०२०-२६०००००, ई-मेल : dcmah@doj.mah.gov.in

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महाराष्ट्र शासन  
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गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे



MAHA Bh

मुख्यपृष्ठ



ahwal Date : 11/06/2024

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]



33688811597

Village :- gokhivire ( 944016 )  
pu-id : 33688811597Taluka :- vasai  
bhumapan kramank v upavibhag : 76

District :- palghar

Tenure Type : bhogavatadar varg -1		shetache sthanik nao :				Mutation number	Tenancy, Rent & Other Rights
Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable		
Area Unit akrodhik Area bun sheti Assessment	281 40.00.00 400.00	devendra rajkumar (adhar)	40.00.00	400.00		( 4697 )	<p>Name of the tenant and Rent</p> <p>Other Rights</p> <p>Deuda</p> <p>goleada ( 632 )</p> <p>akrodhik vapar</p> <p>ma shulkdar vaxat yenchedaili kra. mahadik-1/2-1/3/4/5/6/7/8/9/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/100/101/102/103/104/105/106/107/108/109/110/111/112/113/114/115/116/117/118/119/120/121/122/123/124/125/126/127/128/129/130/131/132/133/134/135/136/137/138/139/140/141/142/143/144/145/146/147/148/149/150/151/152/153/154/155/156/157/158/159/160/161/162/163/164/165/166/167/168/169/170/171/172/173/174/175/176/177/178/179/180/181/182/183/184/185/186/187/188/189/190/191/192/193/194/195/196/197/198/199/200/201/202/203/204/205/206/207/208/209/210/211/212/213/214/215/216/217/218/219/220/221/222/223/224/225/226/227/228/229/230/231/232/233/234/235/236/237/238/239/240/241/242/243/244/245/246/247/248/249/250/251/252/253/254/255/256/257/258/259/260/261/262/263/264/265/266/267/268/269/270/271/272/273/274/275/276/277/278/279/280/281/282/283/284/285/286/287/288/289/290/291/292/293/294/295/296/297/298/299/300/301/302/303/304/305/306/307/308/309/310/311/312/313/314/315/316/317/318/319/320/321/322/323/324/325/326/327/328/329/330/331/332/333/334/335/336/337/338/339/340/341/342/343/344/345/346/347/348/349/350/351/352/353/354/355/356/357/358/359/360/361/362/363/364/365/366/367/368/369/370/371/372/373/374/375/376/377/378/379/380/381/382/383/384/385/386/387/388/389/390/391/392/393/394/395/396/397/398/399/400/401/402/403/404/405/406/407/408/409/410/411/412/413/414/415/416/417/418/419/420/421/422/423/424/425/426/427/428/429/430/431/432/433/434/435/436/437/438/439/440/441/442/443/444/445/446/447/448/449/450/451/452/453/454/455/456/457/458/459/460/461/462/463/464/465/466/467/468/469/470/471/472/473/474/475/476/477/478/479/480/481/482/483/484/485/486/487/488/489/490/491/492/493/494/495/496/497/498/499/500/501/502/503/504/505/506/507/508/509/510/511/512/513/514/515/516/517/518/519/520/521/522/523/524/525/526/527/528/529/530/531/532/533/534/535/536/537/538/539/540/541/542/543/544/545/546/547/548/549/550/551/552/553/554/555/556/557/558/559/560/561/562/563/564/565/566/567/568/569/570/571/572/573/574/575/576/577/578/579/580/581/582/583/584/585/586/587/588/589/590/591/592/593/594/595/596/597/598/599/600/601/602/603/604/605/606/607/608/609/610/611/612/613/614/615/616/617/618/619/620/621/622/623/624/625/626/627/628/629/630/631/632/633/634/635/636/637/638/639/640/641/642/643/644/645/646/647/648/649/650/651/652/653/654/655/656/657/658/659/660/661/662/663/664/665/666/667/668/669/670/671/672/673/674/675/676/677/678/679/680/681/682/683/684/685/686/687/688/689/690/691/692/693/694/695/696/697/698/699/700/701/702/703/704/705/706/707/708/709/710/711/712/713/714/715/716/717/718/719/720/721/722/723/724/725/726/727/728/729/730/731/732/733/734/735/736/737/738/739/740/741/742/743/744/745/746/747/748/749/750/751/752/753/754/755/756/757/758/759/760/761/762/763/764/765/766/767/768/769/770/771/772/773/774/775/776/777/778/779/780/781/782/783/784/785/786/787/788/789/790/791/792/793/794/795/796/797/798/799/800/801/802/803/804/805/806/807/808/809/810/811/812/813/814/815/816/817/818/819/820/821/822/823/824/825/826/827/828/829/830/831/832/833/834/835/836/837/838/839/840/841/842/843/844/845/846/847/848/849/850/851/852/853/854/855/856/857/858/859/860/861/862/863/864/865/866/867/868/869/870/871/872/873/874/875/876/877/878/879/880/881/882/883/884/885/886/887/888/889/890/891/892/893/894/895/896/897/898/899/900/901/902/903/904/905/906/907/908/909/910/911/912/913/914/915/916/917/918/919/920/921/922/923/924/925/926/927/928/929/930/931/932/933/934/935/936/937/938/939/940/941/942/943/944/945/946/947/948/949/950/951/952/953/954/955/956/957/958/959/960/961/962/963/964/965/966/967/968/969/970/971/972/973/974/975/976/977/978/979/980/981/982/983/984/985/986/987/988/989/990/991/992/993/994/995/996/997/998/999/1000/1001/1002/1003/1004/1005/1006/1007/1008/1009/1010/1011/1012/1013/1014/1015/1016/1017/1018/1019/1020/1021/1022/1023/1024/1025/1026/1027/1028/1029/1030/1031/1032/1033/1034/1035/1036/1037/1038/1039/1040/1041/1042/1043/1044/1045/1046/1047/1048/1049/1050/1051/1052/1053/1054/1055/1056/1057/1058/1059/1060/1061/1062/1063/1064/1065/1066/1067/1068/1069/1070/1071/1072/1073/1074/1075/1076/1077/1078/1079/1080/1081/1082/1083/1084/1085/1086/1087/1088/1089/1090/1091/1092/1093/1094/1095/1096/1097/1098/1099/1100/1101/1102/1103/1104/1105/1106/1107/1108/1109/1110/1111/1112/1113/1114/1115/1116/1117/1118/1119/1120/1121/1122/1123/1124/1125/1126/1127/1128/1129/1130/1131/1132/1133/1134/1135/1136/1137/1138/1139/1140/1141/1142/1143/1144/1145/1146/1147/1148/1149/1150/1151/1152/1153/1154/1155/1156/1157/1158/1159/1160/1161/1162/1163/1164/1165/1166/1167/1168/1169/1170/1171/1172/1173/1174/1175/1176/1177/1178/1179/1180/1181/1182/1183/1184/1185/1186/1187/1188/1189/1190/1191/1192/1193/1194/1195/1196/1197/1198/1199/1200/1201/1202/1203/1204/1205/1206/1207/1208/1209/1210/1211/1212/1213/1214/1215/1216/1217/1218/1219/12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20/2221/2222/2223/2224/2225/2226/2227/2228/2229/2230/2231/2232/2233/2234/2235/2236/2237/2238/2239/2240/2241/2242/2243/2244/2245/2246/2247/2248/2249/2250/2251/2252/2253/2254/2255/2256/2257/2258/2259/2260/2261/2262/2263/2264/2265/2266/2267/2268/2269/2270/2271/2272/2273/2274/2275/2276/2277/2278/2279/2280/2281/2282/2283/2284/2285/2286/2287/2288/2289/2290/2291/2292/2293/2294/2295/2296/2297/2298/2299/2300/2301/2302/2303/2304/2305/2306/2307/2308/2309/2310/2311/2312/2313/2314/2315/2316/2317/2318/2319/2320/2321/2322/2323/2324/2325/2326/2327/2328/2329/2330/2331/2332/2333/2334/2335/2336/2337/2338/2339/2340/2341/2342/2343/2344/2345/2346/2347/2348/2349/2350/2351/2352/2353/2354/2355/2356/2357/2358/2359/2360/2361/2362/2363/2364/2365/2366/2367/2368/2369/2370/2371/2372/2373/2374/2375/2376/2377/2378/2379/2380/2381/2382/2383/2384/2385/2386/2387/2388/2389/2390/2391/2392/2393/2394/2395/2396/2397/2398/2399/2400/2401/2402/2403/2404/2405/2406/2407/2408/2409/2410/2411/2412/2413/2414/2415/2416/2417/2418/2419/2420/2421/2422/2423/2424/2425/2426/2427/2428/2429/2430/2431/2432/2433/2434/2435/2436/2437/2438/2439/2440/2441/2442/2443/2444/2445/2446/2447/2448/2449/2450/2451/2452/2453/2454/2455/2456/2457/2458/2459/2460/2461/2462/2463/2464/2465/2466/246</p>



महाराष्ट्र शासन  
महसूल विभाग

गाव नमुना नंबर ७/१२ व ८ अ, साळमत्ता पत्रक पाहणे



सत्यमेव जयते

MAHA Bhulekh (I)

मुख्यपृष्ठ



ahwal Date : 03/04/2023

## Village Form Seven ( Records of Right )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 )

Village :- gokhivire ( 944016 )  
ulpin : 30907593327Taluka :- vasai  
bhumapan kramank v upavibhag : 77/1

District :- palghar



30907593327

Tenure Type : bhogavatadar varg -I		shetache sthanik nao :				Tenancy, Rent & Other Rights
Area, Unit & Assessment	khac kra	Name of the occupant	Area	Assessment	Mutation number	
Area Unit	1000 Sq. Meters	( 400- )	0.00.00	0.00	( 4997 )	Name of the tenant and Rent
a) Jagavadi yagna Area		( 400- )	0.00.00	0.00	( 5343 )	
Non-Irrigated	0.02.00	( 400- )			( 5343 )	Other Rights
Irrigated		( 400- )			( 5343 )	nikada
Total cultivable Area	0.02.00		0.00.00			nikada ( 632 )
b) Uncultivable Area						
(Jagavadi yagna)	2133	sayrus joel po			( 5343 )	pralambit fersar : nabl
Class (A)		cynthia dominik rodrigues			( 5343 )	
Class (B)			0.02.00	0.00		shetvacha pherla kramank : 6343 v Date : 07/11/2022
Total po kh	0.00.00					
Total Area (a+b)	0.02.00					
Assessment	0.44					
Special Assessment						

Junc Mutation No. ( 181 ) ( 632 ) ( 1266 ) ( 1268 ) ( 3442 ) ( 4545 ) ( 4997 )

.some ani bhumapan chine

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakiy aihawa kaydeysheer babinsahi vaprata yenar nahi.

## Village namuna bara ( pikanchi nondavhi )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yash nien 29 )

Village :- gokhivire ( 944016 )

Taluka :- vasai

District :- palghar

bhumapan kramank v upavibhag : 77/1

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					key.e	key.e			key.e	
					chou.me	chou.me			chou.me	
2022-23	kharp	181*						gavet pad	0.0200	

Note : \* sadrachi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakiy aihawa kaydeysheer babinsahi vaprata yenar nahi.

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सुचना : या संकेतस्थलवर दर्शविलेली माहिती ही कोणत्याही खासगीत भाषा कायदेशीर बाबीसाठी वापरा केणार नाही.

जमावटी अप्रत्यक्ष आणि संचालक भूमि अभिलेख कार्यालय  
विस्तार मंडळ, नवीन प्रशासकीय इमारत, कोनिकॉरिडोर समीर, पुणे  
दूरधनी : ०२०-२६०५०००५, ई-मेल : dmsh(dofmah[at]nc[dot]in)

Best viewed with resolution 1366\*768 in Firefox, Chrome, IE.





ahwal Date : 28/08/2022

**Village Form Seven ( Records of Right )**

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 (from Rule 1971) ]

Village :- ~~gokhivre~~ ( 944016 )  
ulpin : 13213574176



Taluka :- vesai  
bhumapan kramank v upavibhag : 77/3

District :- palghar



Tenure Type :		bhogavatadar varg -I		shetachha shahaniik nani :			
Area, Unit & Assessment		khatai krai	Name of the occupant	Area	Assessment	Uncultivable	Mutation number
Area Unit	raichan ma	181	devendra rajgokani bhatani	16.00.00	268.00		( 4258 )
akrashtik	Area						
bim shani	26.00.00						
Assessment	268.00						
							Name of the tenant and Rent
							Other Rights
							area under m. sh. 3417.37 chow ma area under hc (reallocated) 4957.16 chow ma. 30ms d p road (realigned) 2421.75chow ma. r g 15% 1231.85 chow ma. c f 5% 410.68 chow ma. ( 4301 )
							predominant source : nahi.
							shetachha pherjar kramanak . 4545 v Date : 27/09/2018
pane Mutation No. ( 30 ) 480 ) 526 ) 527 ) 1368 ) 2624 ) 3040 ) 4130 ) 4200 ) 4257 ) 4258 ) 4381 ) 4432 ) 4545 )							asema ani bhutapan chahile :



 <b>महाराष्ट्र शासन</b> <b>महसूल विभाग</b> <b>गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे</b>	 <b>MAHA Bhulekh</b>
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MAHA Bhulekh

मुख्यपृष्ठ



Government of Maharashtra

ahwal Date : 28/08/2022

## Village Form Seven ( Records of Right )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 )

Village :- gokhivire ( 944016 )  
ulpin : 33550493384Taluka :- vasai  
bbumapan kramank v upavibhag : 77/4

District :- palghar



33550493384

Tenure Type :- bhogavatadar varg -1

shetache shthank nao :

Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit akrabak bin sheti Assessment	881 Aras 8.18.00 81.00	detendra rajkumar bhad	6.10.00	81.00		( 4213 )	Name of the tenant and Rent  Other Rights shkalis shkalis ( 432 ) KAT area under the 3417.37 chow me. area under the (revaluated) 4957.16 chow me. Joint d p reed (mullgudi) 3421.76 chow me. v g 15% 1332.05 chow me. cfe 5% 418.68 chow me. ( 4381 )  prohibit for sale.  shetacha phoris kramank : 4545 v Date : 17/09/2018
Joint Mutation No.	( 273 X 401 X 632 X 1110 X 1368 X 4006 X 4007 X 4157 X 4183 X 4212 X 4213 X 4314 X 4315 X 4545 )	For View Only					seema ani bhupapan shikhe :

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakiy athawa kaydoyshor babinsathi vaprata yenar nahi.

## Village namuna bara ( pikanchi nondavhi )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 still atom 19 )

Village :- gokhivire ( 944016 )

Taluka :- vasai

District :- palghar

: 77/4

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					E chow.me	F chow.me			E chow.me	
2019-20	amajpoosar varg							Machad	8.1800	

Note : \* sadrachit word mobile ap 4 ram ghret alai ake

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakiy athawa kaydoyshor babinsathi vaprata yenar nahi.

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दूरध्वनी : ०२०-२६२५०००६, ई-मेल : dirmah(dot)mah(dot)gov(dot)in

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महाराष्ट्र शासन  
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गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे



MAHA Bhulekh (i)

मुख्यपृष्ठ



ahwal Date : 20/03/2024

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 (new Rule 1971) ]

Village :- gokhivre ( 944016 )  
pu-id : 25489927116Taluka :- vasai  
bhupatan kramank v upavibhag : 77/5

District :- palghar



25489927116

Tenure Type : bhogavatadar varg -1		shetache shanik nao :			Mutation number	Tenancy, Rent & Other Rights
Area Unit & Assessment	khata kra.	Name of the occupant	Area	Assessment		
Area Unit : chhot me.dhuu.se.mre.	181	devendra rajnikant ladhani	4.70.00	47.00	( 5348 )	Name of the tenant and Rent
abwshak Area	1817	may.rashmi ameya devulparra housing and estate	29.28.00	282.00	( 5319 )	Other Rights
bin sheti 32.90.00		rylatant pr.s.h., tarte dalredkar devendra rajnikant ladhani				are
Assessment 329.00						area under m.dre 3417.37 chou me .area under he (m.dated) 4952.16 chou me .Rent d p.reed (realigned) 2421.76 chou me .y.g 15% 1232.05 chou me .rfe 5% 418.68 chou me . ( 4381 )
	[ 2000- ]	[ shobhana-valmiki-urph-valmiki-topis ]			( 5348 )	
		[ valmiki-valmiki-urph-valmiki-topis ]			( 5348 )	
		— samake Area —	0.00.00	0		
	[ 2044- ]	[ rajman-damanik-urph-daming-topis ]	23-00.00	230.00	( 5319 )	pralambti ferfar : nahi.
		[ richard-damanik-urph-daming-topis ]			( 5319 )	
		[ rajman-damanik-urph-daming-topis ]			( 5319 )	
		[ rajan-damanik-urph-daming-topis ]			( 5319 )	
		[ apurba-moodin-topis ]			( 5319 )	
		[ same-daming-topis ]			( 5319 )	
		— samake Area —				
Final Mutation No. ( 927 X 600 X 1209 X 1360 X 3508 X 2478 X 2901 X 4433 X 4545 X 4850 X 5319 )						— samake Area —

suchana : yah sanketasthavar darshavilciti mahiti he konatyahi shasakiy aihawa kaydeysheer babinsathi vaprata ycnar nahi.

## Village namuna bara ( pikanchi nondavhi )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yadli nam 29 ]

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

bhupatan kramank v upavibhag : 77/5

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					key.e.	key.e.			key.e.	
					chou.me	chou.me			chou.me	
2019-20	campoonen varsh							bindheo	32.9000	

Note : \* sadrachí nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavilciti mahiti he konatyahi shasakiy aihawa kaydeysheer babinsathi vaprata ycnar nahi.

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महाराष्ट्र शासन  
महसूल विभाग

गाव नमुना नंबर ७/१२ व ८ अ, मातंगता पत्रक माहणे



MAHA Bhulekh (i.e. Maharashtra Bhumi Abhilekh) - a land record

मुख्यपत्र



ahwal Date : 28/08/2022

## Village Form Seven ( Records of Right )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 )

Village :- gokhivre ( 944016 )  
ulpin : 33376812368Taluka :- vasai  
bhumapan kramank v upavibhag : 77/6

District :- palghar



33376812368

Tenure Type : bhogavatadar varg -1		shetache shanik nao :				Mutation number	Tenancy, Rent & Other Rights
Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable		
Area Unit akrushak bin shet Assessment	28.78.00 207.00						
	[ 68- ]	[ 10000-john-10000 ]				( 4593 )	Name of the tenant and Rent
	[ 61 ]	devendra rajikant ladhani	10.10.00	101.00		( 4877 )	Other Rights
	[ 400- ]	[ 10000-john-10000 ]				( 4593 )	akrushak vepar - rahivas (VillageGharabhar)
	1793	mayasai chidam riyatara pralitar shetachy karyanik rajanikant ladhani	10.10.00	100.00		( 4593 )	area under m & s 3417.37 chow me area under bc (realigned) 4957.16 chow me. 3417.37 p real (realigned) 2421.76 chow me. 7 g 15% 1232.05 chow me. cfe 5% 410.68 chow me. ( 4381 )
							pralambit ferar : naki.
							shetacha pheriar kramank : 4593 v Date : 01/01/2019
Junc Mutation No. ( 700 H 1368 H 1491 H 2240 H 2300 H 2656 H 2900 H 4077 H 4381 H 4433 H 4545 )							seema an bhumapan shanik

For View Only

suchana : yah sanketasthavar darshavileli mahiti ho konatyahi shasakiy aihawa kaydeysheer babinsathi vaprat yenar nahi.

## Village namuna bara ( pikanchi mondavhi )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yaal mzin 29 )

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

77/6

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					a.	b.			c.	
					chou.me	chou.me			chou.me	
2019-20	saangonam vansk							blayhe	28.7800	

Note : \* sudachi noni mabhe ap dyaon gharet ali ali aho

suchana : yah sanketasthavar darshavileli mahiti ho konatyahi shasakiy aihawa kaydeysheer babinsathi vaprat yenar nahi.

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MAHA Bhulekh (i.e. Maharashtra Bhumi Ab)

मुख्यपृष्ठ



ahwal Date : 30/12/2023

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]



20160592557

Village :- gokhivre ( 944016 )  
ulpin : 20160592557

Taluka :- vasai

District :- palghar

bhumapan kramank v upavibhag : 77/7

Tenure Type : bhogavatadar varg -I		shetache shanik nao :				Mutation number	Tenancy, Rent & Other Rights
Area, Unit & Assessment	khare kra	Name of the occupant	Area	Assessment	Uncultivable		
Area Unit : rchouma.chou.san.me abvishak : Area baj shak : 3.88.00 Assessment : 38.80	181	devendra rajkanti ladhani	3.88.80	38.00		( 3905 )	<p>Name of the tenant and Rent</p> <p>Other Rights</p> <p>rukada</p> <p>rukada ( 631 )</p> <p>tar</p> <p>area under m &amp; c : 3417.37 chou me . area under he (realested) : 4957.16 chou me . 30m d p rovd (realigned) : 2421.76 chou me . e g ( 5% 1332.06 chou me . cfe 5% 410.68 chou me . ( 4381 )</p> <p>prukashit farafar : nahi.</p> <p>diestacha pharfar Samantok : 5562 v Date : 30/11/2023</p>
<p>Joint Mutation No : ( 608 X 632 X 1368 X 1502 X 1661 X 2870 X 2925 X 3015 X 3139 X 3900 X 3905 X 4041 X 4143 X 4245 X 4302 )</p>							crema an bhumapan chitabe :

suchana : yah sanketasthavar darshavileli mahiti he konaryahi shasakiy adhawa kaydeysheer babinsathi vapraa yemar nahi.

## Village namuna bars ( pikanchi nondavhi )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yaal nima 29 ]

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

bhumapan kramank v upavibhag : 77/7

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					heya.	heya.			heya.	
					chou.me	chou.me			chou.me	
2019-20	swapsortan Varsk							blashed	3.0000	

Note : \* sadrachhi nond mobile ap dyaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konaryahi shasakiy adhawa kaydeysheer babinsathi vapraa yemar nahi.

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दूरध्वनी : ०२०-२६०५०००६, ई-मेल : dharmah@dmah[at]nic[dot]in

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Village :- gokhivre ( 944016 )  
pu-id : 12907027059

Taluka :- vasai  
bhumagan kramank v upavibhag : 81/1

District :- palghar

12907027059

	daktar-kramank	(5414)	
	mapo-kramank	(5414)	
	mapo-kramank	(5414)	
	mapo-kramank	(5414)	
	-----sankat Area-----	0.00 00 0	
2159	मुळसह शिवसेन वनार	4.50 00 45.00	(5414)
<p>Joint Metadown No. ( 205 X 344 X 415 X 541 X 550 X 632 X 7190 X 1368 X 2018 X 2122 X 2330 X 2818 X 3523 X 3534 X 3531 X 3532 X 3533 X 3534 X 4236 X 4236 X 4462 X 4545 X 4647 X 4705 X 4718 X 5185 X 5386 X 5412 )</p>			

suchana : yah sanketasthavar darshavileli mahiti he konaryahi shasakiy adhawa kaydeysheer babinsathi vaprata yenar nahi.

Village namuna bara ( pikanchi nondayhi )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yad nam 29 ]

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

bhumagan kramank v upavibhag : 81/1

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					key.e	key.e			key.e	
					chou.me	chou.me			chou.me	
2019-20	samposren vandi							pod	6.8450	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konaryahi shasakiy adhawa kaydeysheer babinsathi vaprata yenar nahi.

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7/12 extract, 5A extract and Property Card online to citizens

मुख्यपृष्ठ



ahwal Date : 05/07/2023

## Village Form Seven (Records of Right)

(Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 2, 5, 6 and 7 from Rule 1971)



39016401617

Village :- gokhivre ( 944016 )  
ulpin : 39016401617

Tahuka :- vasai

District :- palghar

bhumagan kramank v upavibhag : 81/5

Tenure Type : bhogavatadar varg -1		shetache shanik nao :				Mutation number	Tenancy, Rent & Other Rights
Area, Unit & Assessment	khate kra	Name of the occupant	Area	Assessment	Uncultivable		
Area Unit : chhotakhat, shet, acre, are akarmshik : Area bha shet : 6.68.00 Assessment : 66.80	181	devendra rajnikant lodhar	6.68.00	66.00		(4703)	Name of the tenant and Rent  Other Rights nikala nikada ( 632 ) akarmshik vapar mohadshikdar vatal yanchaladi kramamshik-1/2-4/5/6/7/8/9/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/100/101/102/103/104/105/106/107/108/109/110/111/112/113/114/115/116/117/118/119/120/121/122/123/124/125/126/127/128/129/130/131/132/133/134/135/136/137/138/139/140/141/142/143/144/145/146/147/148/149/150/151/152/153/154/155/156/157/158/159/160/161/162/163/164/165/166/167/168/169/170/171/172/173/174/175/176/177/178/179/180/181/182/183/184/185/186/187/188/189/190/191/192/193/194/195/196/197/198/199/200/201/202/203/204/205/206/207/208/209/210/211/212/213/214/215/216/217/218/219/220/221/222/223/224/225/226/227/228/229/230/231/232/233/234/235/236/237/238/239/240/241/242/243/244/245/246/247/248/249/250/251/252/253/254/255/256/257/258/259/260/261/262/263/264/265/266/267/268/269/270/271/272/273/274/275/276/277/278/279/280/281/282/283/284/285/286/287/288/289/290/291/292/293/294/295/296/297/298/299/300/301/302/303/304/305/306/307/308/309/310/311/312/313/314/315/316/317/318/319/320/321/322/323/324/325/326/327/328/329/330/331/332/333/334/335/336/337/338/339/340/341/342/343/344/345/346/347/348/349/350/351/352/353/354/355/356/357/358/359/360/361/362/363/364/365/366/367/368/369/370/371/372/373/374/375/376/377/378/379/380/381/382/383/384/385/386/387/388/389/390/391/392/393/394/395/396/397/398/399/400/401/402/403/404/405/406/407/408/409/410/411/412/413/414/415/416/417/418/419/420/421/422/423/424/425/426/427/428/429/430/431/432/433/434/435/436/437/438/439/440/441/442/443/444/445/446/447/448/449/450/451/452/453/454/455/456/457/458/459/460/461/462/463/464/465/466/467/468/469/470/471/472/473/474/475/476/477/478/479/480/481/482/483/484/485/486/487/488/489/490/491/492/493/494/495/496/497/498/499/500/501/502/503/504/505/506/507/508/509/510/511/512/513/514/515/516/517/518/519/520/521/522/523/524/525/526/527/528/529/530/531/532/533/534/535/536/537/538/539/540/541/542/543/544/545/546/547/548/549/550/551/552/553/554/555/556/557/558/559/560/561/562/563/564/565/566/567/568/569/570/571/572/573/574/575/576/577/578/579/580/581/582/583/584/585/586/587/588/589/590/591/592/593/594/595/596/597/598/599/600/601/602/603/604/605/606/607/608/609/610/611/612/613/614/615/616/617/618/619/620/621/622/623/624/625/626/627/628/629/630/631/632/633/634/635/636/637/638/639/640/641/642/643/644/645/646/647/648/649/650/651/652/653/654/655/656/657/658/659/660/661/662/663/664/665/666/667/668/669/670/671/672/673/674/675/676/677/678/679/680/681/682/683/684/685/686/687/688/689/690/691/692/693/694/695/696/697/698/699/700/701/702/703/704/705/706/707/708/709/710/711/712/713/714/715/716/717/718/719/720/721/722/723/724/725/726/727/728/729/730/731/732/733/734/735/736/737/738/739/740/741/742/743/744/745/746/747/748/749/750/751/752/753/754/755/756/757/758/759/760/761/762/763/764/765/766/767/768/769/770/771/772/773/774/775/776/777/778/779/780/781/782/783/784/785/786/787/788/789/790/791/792/793/794/795/796/797/798/799/800/801/802/803/804/805/806/807/808/809/810/811/812/813/814/815/816/817/818/819/820/821/822/823/824/825/826/827/828/829/830/831/832/833/834/835/836/837/838/839/840/841/842/843/844/845/846/847/848/849/850/851/852/853/854/855/856/857/858/859/860/861/862/863/864/865/866/867/868/869/870/871/872/873/874/875/876/877/878/879/880/881/882/883/884/885/886/887/888/889/890/891/892/893/894/895/896/897/898/899/900/901/902/903/904/905/906/907/908/909/910/911/912/913/914/915/916/917/918/919/920/921/922/923/924/925/926/927/928/929/930/931/932/933/934/935/936/937/938/939/940/941/942/943/944/945/946/947/948/949/950/951/952/953/954/955/956/957/958/959/960/961/962/963/964/965/966/967/968/969/970/971/972/973/974/975/976/977/978/979/980/981/982/983/984/985/986/987/988/989/990/991/992/993/994/995/996/997/998/999/1000/1001/1002/1003/1004/1005/1006/1007/1008/1009/1010/1011/1012/1013/1014/1015/1016/1017/1018/1019/1020/1021/1022/1023/1024/1025/1026/1027/1028/1029/1030/1031/1032/1033/1034/1035/1036/1037/1038/1039/1040/1041/1042/1043/1044/1045/1046/1047/1048/1049/1050/1051/1052/1053/1054/1055/1056/1057/1058/1059/1060/1061/1062/1063/1064/1065/1066/1067/1068/1069/1070/1071/1072/1073/1074/1075/1076/1077/1078/1079/1080/1081/1082/1083/1084/1085/1086/1087/1088/1089/1090/1091/1092/1093/1094/1095/1096/1097/1098/1099/1100/1101/1102/1103/1104/1105/1106/1107/1108/1109/1110/1111/1112/1113/1114/1115/1116/1117/1118/1119/1120/1121/1122/1123/1124/1125/1126/1127/1128/1129/1130/1131/1132/1133/1134/1135/1136/1137/1138/1139/1140/1141/1142/1143/1144/1145/1146/1147/1148/1149/1150/1151/1152/1153/1154/1155/1156/1157/1158/1159/1160/1161/1162/1163/1164/1165/1166/1167/1168/1169/1170/1171/1172/1173/1174/1175/1176/1177/1178/1179/1180/1181/1182/1183/1184/1185/1186/1187/1188/1189/1190/1191/1192/1193/1194/1195/1196/1197/1198/1199/1200/1201/1202/1203/1204/1205/1206/1207/1208/1209/1210/1211/1212/1213/1214/1215/1216/1217/1218/1219/122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0/2221/2222/2223/2224/2225/2226/2227/2228/2229/2230/2231/2232/2233/2234/2235/2236/2237/2238/2239/2240/2241/2242/2243/2244/2245/2246/2247/2248/2249/2250/2251/2252/2253/2254/2255/2256/2257/2258/2259/2260/2261/2262/2263/2264/2265/2266/2267/2268/2269/2270/2271/2272/2273/2274/2275/2276/2277/2278/2279/2280/2281/2282/2283/2284/2285/2286/2287/2288/2289/2290/2291/2292/2293/2294/2295/2296/2297/2298/2299/2300/2301/2302/2303/2304/2305/2306/2307/2308/2309/2310/2311/2312/2313/2314/2315/2316/2317/2318/2319/2320/2321/2322/2323/2324/2325/2326/2327/2328/2329/2330/2331/2332/2333/2334/2335/2336/2337/2338/2339/2340/2341/2342/2343/2344/2345/2346/2347/2348/2349/2350/2351/2352/2353/2354/2355/2356/2357/2358/2359/2360/2361/2362/2363/2364/2365/2366/2367/2368/2369/2370/2371/2372/2373/2374/2375/2376/2377/2378/2379/2380/2381/2382/2383/2384/2385/2386/2387/2388/2389/2390/2391/2392/2393/2394/2395/2396/2397/2398/2399/2400/2401/2402/2403/2404/2405/2406/2407/2408/2409/2410/2411/2412/2413/2414/2415/2416/2417/2418/2419/2420/2421/2422/2423/2424/2425/2426/2427/2428/2429/2430/2431/2432/2433/2434/2435/2436/2437/2438/2439/2440/2441/2442/2443/2444/2445/2446/2447/2448/2449/2450/2451/2452/2453/2454/2455/2456/2457/2458/2459/2460/2461/2462/2463/2464/2465/2











MAHA Bhulekh (i.e. Maharashtra Bhumi Abhilekh) - a land record website of Ma

**मुख्यपृष्ठ**



ahwal Date : 28/08/2022

**Village Form Seven ( Records of Right )**

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]

Village :- golkhivra ( 944016 )  
ulpin : 31787533537

Taluka :- Vasni

**District :- palghar**

bhumapan kramank v upavibhag : 81/9



31787533537

Tenure Type :		bhogavatadar varg - I					shetache shikanik nas :	
Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tonancy, Rent & Other Rights	
Area Unit akrashtak Area Assessment	101	devendra rajnikant Jadhavi	2.58.00	25.08		( 4783 )	<p>Name of the tenant and Rent</p> <p>Other Rights</p> <p>nikada</p> <p>nikada ( 632 )</p> <p>akrashtak vapar</p> <p>ma.mahuldar vasal yanchekadi kra.mahuldi-1/7a-1/jamunab-1 /lav-n- 592918 dt.24/01/2019 anwaya maharashtra jamlo mahami shikshayam 1966 che kolam 42th mahadi samadhusar Reval sapantaran har v blakshet skandhi rakshan vasol karanyat nali xam tyamde apas jagavar styejit akrahtak vapar karoyache asalye tyapari xamandhit nityojan pradikrakadi v far avashyak tya pradikrakadi purvapranag ghose bandhonkarak rahit. ( 4783 )</p> <p>pralambit farsar : nali.</p> <p>shetkacha ghofrit kraantik : 4703 v Date : 19/02/2020</p>	
Joint Mutation No. ( 99 ) X 672 ) X 1183 X 1369 X 4882 X 4033 X 4164 X 4433 X 4545 X 4703 )							seema nali bhupaman chitne :	

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakiy aihawa kaydeysheer babinsathi vaprata yenar nahi.

**Village namuna bara ( pikanchi nondavhi )**

[ Maharashtra Land Records Revenue Records of Right and Registry (Book Keeping) Rule 1974 until clause 29

**Village :- gokhivre ( 944016 )**

**Taluka :- vasai**

**District :- palghar**

81/9

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					१.	२.			३.	
					कृषि	कृषि			कृषि	
2015-20	समपूर्व वार्षिक							१५०	१.०२५०	

Note : \* *salvacha* model mobile app divyani ghosai ekda ahe

suchana : yah sanketasthavar darshavileli mahiti he konayahi shasakyi athawa kaydevsheer babinsathi vaprata ycnar nahi.

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सूचना : या संकेतस्थळावर दृष्टीविलेली माहिती ही कोणताही शासकीय अथवा कायदेशीर बाबींसाठी वापरता येणार नाही.

जमावटी आपुक्त आणि संचालक भूमि अभितेख कार्यालय  
तिसरा मजला, नवीन प्रशासकीय इमारत, कोन्सिल हाईस रोड, पुणे  
दूरधनी : ०२०-२६०५०००६, ई-मेल : [dirmah\(dot\)mah\(at\)nic\(dot\)in](mailto:dirmah(dot)mah(at)nic(dot)in)

Best viewed with resolution 1366\*768 in Firefox, Chrome, IE







## Village namuna bara ( pikanchi nondavhi )

( Maharashtra Land Records Revenue Records of Right and Register (Book Keeping) Rule 1971 year 01 to 29 )

Village :- gokhivra ( 944016 )

Taluka :- vasai

District :- palghar

bhumapan kramank v upavibhag : 81/12

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					key.r. choo.me	key.r. choo.me			key.r. choo.me	
2021-22	khurip	2541	nirbhul	bhat		8.0468				

Note : \* sadrachī nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavikli makidi he konatyahi shasakiy ahaawa kaydeysthor babiusathi vaprata yonar nahi.

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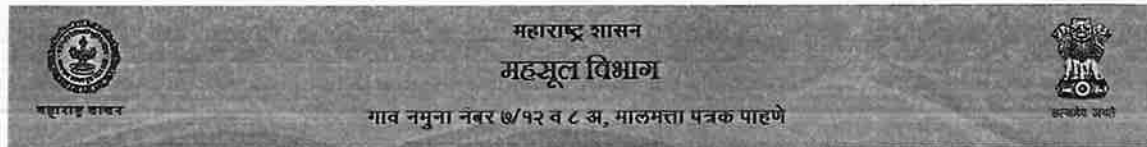
सूचना : या संकेतस्थळावर दर्शविलेली माहिती ही कोणत्याही शासकीय भाषा कायदेखीर बाबींसाठी वापरता येणार नाही.

जमावटी अप्रुक्त आणि संचालक भूमि अभिलेख कार्यालय  
 विभाग मजला, नवीन प्रशासकीय इमारत, कोमल हॉल समोर, पुणे  
 दूरधर्मी : ०२०-२६०५०००६, ई-मेल : dirmah(dot)mah[at]nic(dot)in

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For View Only



MAHA Bhutekh (i.e. Maharshi)

**मुख्यपृष्ठ**



Government of Maharashtra

ahwal Date : 04/04/2024

Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]

Village :- gokhivre ( 944016 )  
pu-id : 36939729916

**Taluka :- vasni**

District :- palghar

bhumapan kramank v upavibhag : 81/13



36033729016

**Tenure Type :**

**bhogavatadar varg -1**

shetache shanik nao

Area, Unit & Assessment	khate kra	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit r.chou.ma.dau.ara.ma akrahlik Area his share 11.28.00 Assessment 112.00	[ 500- ]	[ anil-ran-chand-r-gupta ]	4430.00	443.00		( 5016 )	Name of the tenant and Rent
	[ 4943- ]	[ angelo-r-may-madande ]				( 5021 )	Other Rights
		[ angelo-r-may-madande ]				( 5021 )	rukala
		[ Hahel-fran-co-lapio ]				( 5021 )	rukada ( 502 )
		[ Hahel-fran-co-lapio ]				( 5021 )	akroshak vapar
		[ grette-ding-d-mone ]				( 5021 )	ms.tahabir vasa yondokadi kra.madanku-lite-B/janinabab-I Karv-Gu-
		[ jaimin-baid-bale ]				( 5021 )	61/2018 dt.24/01/2019 anvege maharashtra jashu prahad adhinayam 1966 dhe
		[ reebel-rebheem-d-mone ]				( 5021 )	kalan 423b madhi sarrodikumar haval rapantaram kor v blubad shoruchli
		[ dingy-rebheem-d-mone ]				( 5021 )	rukman vani karanyat sals asan tyemole tyema Jagrave riyogit akrahlik vapar
		[ d-mone-vajendra-d-m ]				( 5021 )	kranyacha aalyac tyapuri sambandhi niyojan pradhitkonachi v kar avakalya
		[ d-mone-fran-co-lapio-1-4-b-him ]				( 5021 )	tya pradhitkonachi puraprasang ghuve bandhankamak rahil. ( 4698 )
		[ anaj-jashu-baid-bale ]				( 5021 )	
		[ anil-ran-chand-r-gupta ]	4430.00	443.00		( 5021 )	gopalnabhi farfar : nabi.
		[ jaimin-fran-co-lapio ]				( 5021 )	
		[ jaimin-co-lapio-v-d-mone ]				( 5021 )	
		[ post-ban-yo-d-mone ]				( 5021 )	
		[ caralico Area ]	0.00.00	0			shetvacha pherfar krammak : 5330 v Data : 07/12/2022
	[ 4900- ]	[ anil-ran-chand-r-gupta ]	4430.00	443.00		( 5330 )	
		[ reebel-rebheem-d-mone ]				( 5330 )	
		[ dingy-rebheem-d-mone ]				( 5330 )	
		[ b-e-r-j-a-m-d-mone ]				( 5330 )	
		[ post-ban-yo-d-mone-1-4-b-him ]				( 5330 )	
		[ local-fran-co-lapio ]				( 5330 )	
		[ lowrenco-ban-yo-d-mone ]				( 5330 )	
		[ angelo-r-may-madande ]				( 5330 )	
		[ samiko Area ]	0.00.00	0			
2106		anil ran-chandra gupta	11.28.00	112.00		( 5330 )	

For View Only

पत्रे Mutation No. ( 689 X 632 X 1360 X 3069 X 3070 X 3071 X 3081 X 3082 X 2787 X 4433 X 4545 X 4698 X 4979 X 5016 X 5021 )

सोमनाम मी (सुमनामनाम चिह्नित) :

suchana : yah smṛkṣasthavar darshavileli māhiti he kṛmāyāhi śhaśakīy athawa kāydeyśheer bābinsāthi vapratā yenar nahi

**Village samona bara ( pikauchi nondavhi )**

[ Maharashtra Land Records Revenue Records of Fiqh and Registers (Book Keeping) Rule 1971 yati niam 39

**Village :- gokhivre ( 944016 )**

**Taluka :- Vasoi**

District :- palghar

bhumapan kramank v upavibhag : 81/13

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irri-gated	Non Irri-gated	Irri-gation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					heg.r. chota me	heg.r. chota me			heg.r. chota me	
2019-20	saanpachon varsh							kharaba	0.0100	
								mad	0.3020	

Note : \* sadrachi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sankatashchay darshaviloli mahiti he konatahi shasakti achawa kaydesheer babinsathi vaprata venar nahi.

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सुवनतः पञ्च संवत्सराभ्यन्तरं दशवित्तेरी मासितेरी ही कोनत्पत्ती शासत्पत्ती अथवा कायदेनारी वाचसीनारी वापरतः येण्हर न्हाही.

**जमाबंदी आयुक्त आणि स्वातंत्र्य भूमि अधिकृत कार्यालय**  
 तिसरा मज्जात, नवीन प्रशासकीय इमारत, कांतिनरत इलत संगरी, पुणे  
 दूरध्वनी: ०२०-२६०००००६, ई-मेल: [dlrma@dcit.mahatniricdcit.in](mailto:dlrma@dcit.mahatniricdcit.in)

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**R**

**मुख्यापुस्त**



अध्यास Date : 30/12/2023

## Village Form Seven ( Records of Right )

[Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971]

Village :- gokhivre ( 944016 )  
ulpin : 34773797060

**Taluka :- Vasai**

District :- palghar

bhumapan kramank v upaviblag : 81/14



34773797060

Tenure Type :- bhogavatadar varg -I		shetache shanik nao :-				
Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable Mutation number	Tenancy, Rent & Other Rights
Area Unit akrutshik Area bin sheti Assessment	181	devendra rajalawat bhadani	6.30.00	63.00	( 4783 )	Name of the tenant and Rent  Other Rights makda subda ( 632 ) akrutshik vapor ma. shalidar varu yamdekaru ka makda/le-170-17/ma. shalidar-1 dravi-60-59/2018 di 24/01/2019 avayto maharashtra jashni mahasab adhiniyam 1966 che kadam 422b evadhi (samudharan kaval) yamdekaran kar v bhayeti shawadhi kadam varul karanyat sili soso yamdekar apasa jagdevar niyati akrutshik vapor kavyacho analysis tyaport sambandhit niyajan pradikharachi v itar avadhyak tyo pradikharachi purvaprasangi ghone banthan karak ramli. ( 4783 )  pradambit karfor : nahi.  shetachia phorfor karandak : 4783 v Date : 19/02/2020  soora ani bhitarpan chhilo :
For View Only						
Junc Mutation No. ( 600 ) ( 532 ) ( 1368 ) ( 1582 ) ( 1661 ) ( 2670 ) ( 2915 ) ( 3015 ) ( 3129 ) ( 3900 ) ( 3905 ) ( 4133 ) ( 4545 ) ( 4783 )						

suchana : yah sanketasthavar darshavileli mahiti he konayahi shasakiy athawa kaydeysheer bahinsathi vaprata yenar nahi

**Village namuna bara ( pikanchi nondavhi )**

[Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yathā niam 29]

**Village :- gokhivre ( 944016 )**

Taluka .- વાસાં

**District :- palghar**

bhumapan kramank v upavibhag : 81/14

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					heyr. choo.mre	heyr. choo.mre			heyr. choo.mre	
2019-20	सुरेसोवन वार्षिक							Mharaba	0.0000	
								pa d	0.0750	

Note : \* sadrachî nond mobile ap dvaren ghenet aleli ahe

suchana - yah sanketasthitar darshavileli mahiti he konaryahi shasakyi aulawa kaydeysheer babinsathi vaprata yenar nahi.

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**सूचना :** या संकेतस्थळावर दर्शविलेली माहिती ही कोणत्याही वास्तवीक अथवा कायदेशीर बाबींसाठी वापरता येणार नाही.

जमाबंदी आयुक्त आणि संचालक भूमि अभिलेख कार्यालय  
तिसरा मजला, नवीन प्रशासकीय इमारत, कोन्सिल हॉल समीर, पुणे  
दूरध्वनी : ०२०-२६०५०००६, ईमेल : [dmsh@dcmsh@nic@dot](mailto:dmsh@dcmsh@nic@dot)

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**महाराष्ट्र शासन**  
**महसूल विभाग**  
 गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे

MAHA Bhulekh (i.e. Maharashtra Bhumi Abhilekh) - a land record website of India

मुसामास

ahwal Date : 28/08/2022



## Village Form Seven (Records of Right)

(Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971)


 Village :- gokhivre ( 944016 )  
 ulpin : 13880748295

 Taluka :- vasai  
 bhutapan kramank v upavibhag : 81/16

District :- palghar



13880748295

Tenure Type :- bhogavatadar varg -I		stetache sthanik nao :				Mutation number	Tenancy, Rent & Other Rights
Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable		
Area Unit : chhousme abwadi : Area bta sheti : 0.88.00 Assessment : 0.88	181	devendra rajnikant Jadhav	0.88.00	0.90		( 4783 )	Name of the tenant and Rent  Other Rights nakada nakada ( 632 ) abwadi vapar ma. talukdar vatal yanchoke 08 km. mahadul-4/10-1/Janinhab-1 (davi-ten-59/2818 d.L.4/8/2019) avage maharashtra jama mahsul adhikyan 1966 cha kadan 422b madhli taradharar kerd cupanaran kar v bhatet sharniabi rakhan vatal karanyat tak anan tyamke apun jagavar abhaji akratik vapar kamoycha udalya vapar sambandit vityan pradikarnachi v kar avashyak tyo pradhikarnachi purvaprasangi ghene bandhanarak nahi. ( 4783 )  prafarnabi farafar : nahi.  shetachha phurfar kramank : 4783 v Date : 19/02/2020  soema ani bhutapan chinha :
<div style="text-align: center;">   <b>ई महा भूमि</b>  <b>For View Only</b> </div>							
jane Mutation No. ( 99 ) ( 632 ) ( 1183 ) ( 1368 ) ( 2061 ) ( 4164 ) ( 4545 ) ( 4709 )							

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakyi athawa kaydeyshoor babinsathi vaprata yonar nahi.

## Village namuna bars ( pikanchi mondayhi )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yetil nam 29 )

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

: 81/16

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					E.	E.			E.	
					chousme	chou.ma			chousme	
2019-20	surayonant vatal							pad	0.8890	

Note : \* nakazhi nam mobile ap dware ghosut nahi ahe

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakyi athawa kaydeyshoor babinsathi vaprata yonar nahi.

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वसावटी आयुष्य आणि सवातक भूमि अधिकार कार्यालय  
 तिसरा मजला, नवीन प्रशासकीय इमारत, कोमल हॉल समोर, पुणे  
 दूरध्वनी : ०२०-२६५५०००५, ई-मेल : dirmah@dirmah[at]nic[dot]in

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महाराष्ट्र शासन  
महसूल विभाग

गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे



MAHA Bhul

मुख्यपृष्ठ

ahwal Date : 05/07/2023



## Village Form Seven ( Records of Right )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 )

Village :- gokhivre ( 944016 )  
ulpin : 16449300464

Taluka :- vasai  
bhupaman kramank v upavibhag : 81/18

District :- palghar



15449300464

Tenure Type : bhogavatadar varg - I		shetache shankar nao				Tenancy, Rent & Other Rights
Area, Unit & Assessment	khate kra	Name of the occupant	Area	Assessment	Uncultivable Mutation number	
Area Unit Hrs.Acre.Sq.feet	181	devendra rajnikant ishdani	0.83.26	0.44	( 5348 )	Name of the tenant and Rent
a) lagavad yogyta Area						
Non-Irrigated 0.21.58	1817	may.rahmi ameya devalpurna housing asnd estate	0.19.54	2.62	( 5319 )	Other Rights
Irrigated		rylshatna per li, tarte chaitekar devendra rajnikant				
Total cultivable Area 0.21.90		ladhani				
b) Uncultivable Area (lagavad ayogyta)						
Class (A) -	( 8440 )	[ shubham-vallur-urph-vatani-topis			( 5348 )	pralambit fofar : nahi.
Class (B) -		[ rohand-vallur-urph-vatani-topis			( 5348 )	shetacha pherfar kramank : 5348 v Date : 25/02/2023
Total po kh. 0.00.00		—sarakhe Area—	0.00.00			
Total Area (a+b) 0.22.90	( 8440 )	[ rajmond-dramanil-urph-dumling-topis	0.22.00	8.06	( 5319 )	
Assessment 3.06		[ richard-dramanil-urph-dumling-topis			( 5319 )	
Special Assessment -		[ adham-dramanil-urph-dumling-topis			( 5319 )	
		[ rajon-dramanil-urph-dumling-topis			( 5319 )	
		[ sphonio-mavali-topis			( 5319 )	
		[ wane-dumling-topis			( 5319 )	
		—sarakhe Area—	0.00.00			

junc Mutation No. ( 127 ) ( 609 ) ( 1289 ) ( 1369 ) ( 3598 ) ( 3678 ) ( 3901 ) ( 4433 ) ( 4515 ) ( 4850 ) ( 5319 )

seema ani bhupaman chinhe

suchana : yah sanketasthavar darshavileli mahur he konatyahi shasakyi athawa kaydeychoor babinsathi vaprata yonar nahi.

## Village namuna bara ( pikanchi mondavhi )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yanti namu. 29 )

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

bhupaman kramank v upavibhag : 81/18

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey.e	hey.e			hey.e	
					choo.me	choo.me			choo.me	
2011-12	zansooni Varkh	129						gavat pad	0.2288	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahur he konatyahi shasakyi athawa kaydeychoor babinsathi vaprata yonar nahi

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जमावटी आणि संपादक भूमि अभिलेख कार्यालय  
विस्तार नवरा, नवीन प्रशासकीय इमारत, कोमल हिल रोड, पुणे  
दूरध्वनी : ०२०-२६०५००६, ई-मेल : dharmadotmah[at]nic[dot]gov.in

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महाराष्ट्र शासन  
महसूल विभाग  
गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे



MAHA Bhulekh (i)

मुख्यपृष्ठ

ahwal Date : 04/07/2023



## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]



38056634959

Village :- gokhivre ( 944016 )  
ulpin : 38056634959Taluka :- vasai  
bhumapam kramank v upavibhag : 81/20

District :- palghar

Tenure Type : bhogavatadar varg - I		shetache sthanik nao :				Mutation number	Tenancy, Rent & Other Rights
Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable		
Area Unit	litre Area Sq. mtr	[ 004 ]	[ 004 ]	[ 004 ]	[ 004 ]	[ 5459 ]	Name of the tenant and Rent
a) Irrigated Area							
Net-Irrigated	0.01.50	2184	mumish infrastrakchasa	0.01.50	0.27	( 5459 )	Other Rights
Irrigated							helda
Total cultivable Area	0.01.50						helda ( 632 )
b) Uncultivable Area							
(agevad ayega)							
Class (A)							pradnyat farafar : trakt.
Class (B)							
Total per kh.	0.00.00						shetachcho pherfor kramank : 5459 v Date : 04/07/2023
Total Area (a+b)	0.01.50						
Assessment	0.27						
Special Assessment							
For View Only							
june Mutation No. ( 83 X 632 X 980 X 1268 X 4545 )							asome ani bhumapam chuhe :

suchana : yah sanketasthavar dasthavlili mahiti he konaryahi shasakyi athawa kaydeysheer babinsathi vaprata yonar nahi.

## Village namuna bara ( pikanchi wondavhi )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yath aista 29 ]

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

bhumapam kramank v upavibhag : 81/20

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					keyr.	keyr.			keyr.	
					chouma	chouma			chouma	
2022-23	aherip	104*						gavat pod	0.01.50	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar dasthavlili mahiti he konaryahi shasakyi athawa kaydeysheer babinsathi vaprata yonar nahi.

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जमावटी आवक आणि संचालक भूमि अभिलेख कार्यालय  
विशेष मजला, नवीन प्रशासकीय इमारती, कोमल हिल समीर, पुणे  
दूरध्वनी : ०२०-२६०५०००६, ई-मेल : ddmah@dmah.gov.in

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Village :- gokhivre ( 944016 )  
pu-id : 32910438572

Taluka :- vasai  
bhupatan kramank v upavibhag : 82/1

District :- palghar

32910438572

	ent-ina-topia		(5414)	
	anw-maryen-topia		(5414)	
	agreb-jake-topia		(5414)	
	eyerem-kale-topia		(5414)	
	smile Area	8.08.80	0	
2159	mukesh shivdas sonar	6.88.06	61.08	(5414)
jane Mutation No. ( 104 X 345 X 546 X 568 X 632 X 1197 X 1348 X 1521 X 2819 X 2122 X 2330 X 3524 X 3531 X 3532 X 3534 X 4235 X 4236 X 4462 X 4545 X 4647 X 4705 X 4718 X 5105 X 5305 X 5412 )				
: socma nri bhupatan chunba :				

suchana : yah sanketasthavar darshavileli mahiti he konaryahi shasakyi alhawa kaydeysheer babinsathi vaprata yenar nahi.

Village mamuna bara ( pikanchi mondavhi )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping Rule 1971 year nara 29 )

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

bhupatan kramank v upavibhag : 82/1

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					key.r.	key.r.			key.r.	
					chou me	chou me			chou me	
2019-20	sahapooch Varsh							pad	0.6610	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konaryahi shasakyi alhawa kaydeysheer babinsathi vaprata yenar nahi.

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जमाबंदी आणि संपादनक भूमि अधिकार कार्यालय  
विभाग मल्ला, नवीन प्रशासकीय इमारत, कोमल हॉल समोर, पुणे  
दूरध्वनी : ०२०-२६०५००६, ई-मेल : dmah[dot]mah[at]nic[dot]in

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Village :- gokhivre ( 944016 )  
pu-id : 26923287050

Taluka :- vasai  
bhumagan kramank v upavibhag : 82/2

District :- palghar

26923287050

	land-uncultivable	(5414)	
	semi-cultivable	(5414)	
	agricultural-land	(5414)	
	water-land	(5414)	
	total Area	4.08.00	0
2159	mutated shikdas sonar	4.08.00	48.00 (5414)
<p>June Mutation No. ( 205 X 344 X 415 X 541 X 550 X 632 X 1197 X 1369 X 1511 X 2018 X 2122 X 2338 X 3523 X 3524 X 3531 X 3532 X 3534 X 4235 X 4236 X 4461 X 4545 X 4647 X 4705 X 4718 X 5185 X 5386 X 5412 )</p>			
<p>suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.</p>			

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

Village namuna bara ( pikanchni nondavhi )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yathi nam 29 )

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

bhumagan kramank v upavibhag : 82/2

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					brayr chou.na	brayr chou.na			brayr chou.na	
2019-20	rainy season							pad	0.8408	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

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जमाबंदी आणुक्त आणि संचालक भूमि अभिलेख कार्यालय  
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## Village mamuna bara ( pikanchi nondavhi )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yati slum 29 )

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

: 82/3/2

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					र. choa.me	र. choa.me			र. choa.me	
2019-20	सुपारेचे वार्षिक							पद	०.६४०८	

Note :- \* sudrachit nand mobile ap daron ghoset ali ali

suchara : yah sanketasthavar darshaviloli mahiti he konatyahi shasaktiy athawa kaydeysheor babinsathi vaprata yonar nahi.

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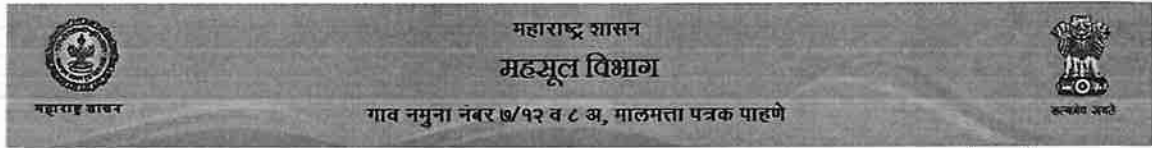
सुचना : या संकेतस्थळावर दर्शविलेली माहिती ही कोणत्याही शासकीय अथवा कायदेशीर बाबीसाठी वापरता येणार नाही.

यामाबंदी असणारा आणि संवादाक भूमि अभिलेख कार्यरत  
 त्रिमरा माला, नवीन प्रवासकीय इमारत, कोमिल हात सल्लार, पुणे  
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shival Date : 04/04/2024



## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 (from Rule 1971) ]

Village :- gokhivre ( 944016 )  
puId : 30813812304

Taluka :- vasai

District :- palghar

bhumapan kramank v upavibhag : 82/3/3



Tenure Type : bhogavatadar varg -1		shetacho shasanik nao :				Mutation number	Tenancy: Rent & Other Rights
Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable		
Area Unit akruchole bin shet Assessment	Aras 28.10.00 381.00	[ 684 ] [ 4466 ]	[ 4466 ] [ 4466 ]	[ 4466 ] [ 4466 ]	[ 4466 ] [ 4466 ]	[ 4466 ] [ 4466 ]	[ 4466 ] [ 4466 ]
<p>For View Only</p>							
<p>suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakyi aghawa kaydcysheer babinsathi vaprata yenar nahi.</p>							

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakyi aghawa kaydcysheer babinsathi vaprata yenar nahi.

## Village namuna bara ( pikanchi mondavhi )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yath sthan 29 ]

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

bhumapan kramank v upavibhag : 82/3/3

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					bay.n	bay.n			bay.n	
					choo.nre	choo.nre			choo.nre	
2017-20	campooner varsh							khataka	0.0218	
								pad	0.3600	

Note : \* sadrachhi nond mobile ap dvaren ghenet aileli ahe

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakyi aghawa kaydcysheer babinsathi vaprata yenar nahi.

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विमरा मजला, नवीन प्रशासकीय इमारत, कोर्टात होत समोर, पुणे  
दूरधनी : ०२०-२६५०००५, ई-मेल : dharmad@mahabhumi.gov.in

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Government of Maharashtra

Village Form Seven (Records of Right)

[Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971]

Printed Date : 30/11/2023



25800282016

Village :- gokhivve ( 944016 )  
ulpin : 25800282016

Taluka :- vasai  
bhumapan kramank v upavibhag : 82/4

District :- palghar

Tenure Type : bhogavatadar varg - I		shetache shanik no :					
Area, Unit & Assessment	khata kra.	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit : r.abou.machou.som.mre.	[ 874 ]	[ sereed-machou-choon ]				( 5283 )	Name of the tenant and Rent
akrashtik Area	738	naik ramchandra pupa	7.10.00	71.00		( 5283 )	[ -sachit-kul- ] ( 4789 )
Assessment 71.00	[ 4846 ]	[ nityamand-dayamand-namant ]				( 4812 )	[ phoonch-turvenee-kopu- ] ( 4789 )
		[ nakhsab-dayamand-namant ]				( 4812 )	[ -sachit-kul- ] ( 4812 )
		[ akhsab-dayamand-namant ]				( 4812 )	[ nakhsab-dayamand-kopu- ] ( 4812 )
		[ ramvindr-dayamand-namant ]				( 4812 )	[ jehno-jam-dubas- ] ( 4812 )
		[ shripat-dayamand-namant ]				( 4812 )	[ devin-inao-kopu- ] ( 4812 )
		—samite Area—	8.00.00	0		( 4812 )	[ duni-kristofar-ghansalvis- ] ( 4812 )
	[ 3094 ]	[ phoonch-turvenee-kopu- ]				( 4856 )	[ padm-inao-kopu-urph-pashin-bilari-pervira- ] ( 4812 )
		[ duni-kristofar-ghansalvis- ]				( 4897 )	[ padm-turvenee-kopu- ] ( 4812 )
		[ padm-inao-kopu-urph-pashin-bilari-pervira- ]				( 4897 )	[ fatema-inao-kopu-urph-stanni-alphama- ] ( 4812 )
		[ padm-turvenee-kopu- ]	9.05.10	4.25		( 4897 )	[ mary-francis-fargue- ] ( 4812 )
		[ fatema-inao-kopu-urph-fathema-stanni-alphama- ]				( 4897 )	[ mary-turvenee-kopu- ] ( 4812 )
		[ mary-francis-fargue- ]				( 4897 )	[ jayjan-francis-kopu- ] ( 4812 )
		[ mary-turvenee-kopu- ]				( 4897 )	[ vito-salman-shah- ] ( 4812 )
		[ jayjan-francis-kopu- ]				( 4897 )	[ husein-pavul-kopu- ] ( 4812 )
		[ vito-salman-shah- ]				( 4897 )	[ husein-bhawan-jadhav- ] ( 4812 )
		[ husein-pavul-kopu- ]				( 4897 )	[ ramam-turvenee-kopu- ] ( 4812 )
		[ husein-bhawan-jadhav- ]				( 4897 )	
		[ ramam-turvenee-kopu- ]				( 4897 )	Other Rights
						( 4897 )	Mar
						( 4897 )	on.mco.d.mco.v.10 ( 549 )
						( 4897 )	Wkaid
						( 4897 )	Wkaid ( 632 )
						( 4897 )	akrashtik vapar
						( 4897 )	ma.tadil-dar.vasul.yanchekh.dh.kra.mahad / B-Lite-1/Jandnash /kavi-jan-314/2020 d.11/08/2020 anwaye maharashtra jusan mahad adhiyami 1966 the kalam 42 b shadil taradousar karul vapantvrit kar v bishketi akarnidhi rakhtam vasul karanyat nali anan tyamule apas jagetar viyaji akarnidhi vapar kraoyecha anayis tyapurei sambandhit royojan prakhtikranochi v tar avakhyak ty pradhikranochi povvaparnag ghene bantushakark rakhil ( 5183 )
						( 4897 )	pramabhi ferat : nali
						( 4897 )	shetacha phorfar kramank : 5283 v Date : 26/08/2022
						( 4897 )	seema ani bhumapan chinhe :
Junc Mutation No. ( 197 ) ( 549 ) ( 1368 ) ( 1542 ) ( 2139 ) ( 2140 ) ( 2141 ) ( 2142 ) ( 3595 ) ( 4270 ) ( 4466 ) ( 4545 ) ( 4812 ) ( 4885 ) ( 4897 ) ( 5103 )							

suchana . yah sanketasthavar darshavileli mahiti he konatyahi shasakti athawa kaydeysheer babinsathi vaprata ycnar nahi .



## Village samuna bara ( pikanchi nondavhi )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yati nam 29 ]

Village :- gokhivre ( 944016 )

Taluka :- vassai

District :- palghar

bhumapan kramank v upavibhag : 82/4

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					heyr. chothane	heyr. chothane			heyr. chothane	
2019-20	isharip							pad	0.0710	

Note : \* sadrachi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthitar darbhavitli mahiti he konaryahi chasakriy athawa kaydeysheer babinsachi vaprata yonar nahi.

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द्वारा मजला, नवीन प्रशासकीय इमारत, कोन्कण हाई समोर, पुणे  
दूरध्वनी : ०२०-२६०५०००६, ई-मेल : dirmah(dot)mahab(humi(dot)gov(dot)in

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**महाराष्ट्र शासन**  
**महसूल विभाग**  
 गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे

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ahwal Date : 28/08/2022

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]

 Village :- gokhivve ( 944016 )  
 ulpin : 37882853913

 Taluka :- vasai  
 bhupatan kramank v upavibhag : 62/5

District :- palghar



37882853913

Tenure Type : bhogavatadar varg - I

shetache shanik nao :

Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit akusdik bin sheti Assessment	181	devendra rajnikant Ladraai	19.20.88	192.08		( 4612 )	Name of the tenant and Rent  Other Rights rukada ( 632 ) ( rent ) ( 4597 ) ( 4897 ) shetachek vapar adeshadi atina adhin rakun blashed Assessment v ripanvarti kar bharrana Bida sate. ( 4682 )  pratishthi fetafar : nahi  shetache pherfar kramank : 4682 v Date : 23/01/2019
<div style="text-align: center;">   <b>ई महा भूमि</b>  <b>For View Only</b> </div>							
gene mutation No. ( 144 ) ( 622 ) ( 704 ) ( 1275 ) ( 1268 ) ( 1208 ) ( 2189 ) ( 3105 ) ( 3665 ) ( 4387 ) ( 4433 ) ( 4545 ) ( 4597 ) ( 4612 )							seema ani bhupatan chunhe :

suchana : yah sanketashchavar darshavileli mahiti he konatyahi shasakyi athawa kaydeysheer babinsathi vapraia yenar nahi.

## Village namuna bara ( pikanchi nandavahi )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yatil aiam 29 ]

Village :- gokhivve ( 944016 )

Taluka :- vasai

District :- palghar

: 82/5

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					E chohane	E chohane			E chohane	
2015-20	sampanthi Varsa							Mharaba	8.8380	
								pad	8.1620	

Note : \* sudrashi nand mobile ap dhasan ghanu sieli abo

suchana : yah sanketashchavar darshavileli mahiti he konatyahi shasakyi athawa kaydeysheer babinsathi vapraia yenar nahi.

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 दूरध्वनी : २२४-२६०५०००६, ई-मेल : dlmah(dot)mah(at)nic(dot)in

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Village :- gokhivre ( 944016 )  
pu-id : 27902560394

Taluka :- vasai  
bhumapao kramank v upavibhag : 82/6

District :- palghar

27902560394

	[ and-humale ]	( 5414 )	
	[ and-humale ]	( 5414 )	
	[ and-humale ]	( 5414 )	
	[ and-humale ]	( 5414 )	
	— samikha Area —	8.00.00	8
2159	mukesh shivdas sonar	2.30.00	23.00 ( 5414 )
jute Mutation No ( 205 K 344 K 415 K 541 K 558 K 1197 K 1368 K 1521 K 2018 K 2122 K 2162 K 2338 K 3523 K 3524 K 3531 K 3532 K 3534 K 4235 K 4236 K 4462 K 4545 K 4647 K 4785 K 4738 K 5185 K 5386 K 5412 K 5589 )			
: areas and bharmapao change :			

suchana : yah sanketasthavar darshavilci mahiti he konatyahi shasakyi athawa kaydeysheer babinsathi vaprata yekar nahi.

Village namuna bara ( pikanchi mondavhi )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yadi nima 29 )

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

bhumapao kramank v upavibhag : 82/6

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					beyr	beyr			beyr	
					chou.me	chou.me			chou.me	
2019-20	saarpoarav yash							pad	0.0238	

Note : \* sadrachti nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavilci mahiti he konatyahi shasakyi athawa kaydeysheer babinsathi vaprata yekar nahi.

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जमाबंदी आवक आणि संशोधन भूमि अभिलेख कार्यालय  
लिसरा मजला, नवीन प्रशासकीय इमारत, कोलिन हॉल समीर, पुणे  
दूरध्वनी : ०२०-२६५५०००६, ई-मेल : dlmah@doj.mah.gov.in

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महाराष्ट्र शासन  
महसूल विभाग

गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे



MAHA Bhule

मुख्यपत्र



abwaj Date : 28/08/2022

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]

Village :- gokhivire ( 944016 )  
ulpin : 11915408881Taluka :- vasai  
bhupaman kramank v upavibhag : 82/8/1

District :- palghar



11915408881

Tenure Type : bhogavatadar varg-1		shetache shanki nro :				Mutation number	Tenancy, Rent & Other Rights
Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable		
Area Unit अकरोसक Area 86.00 Assessment 86.00	181	devendra rajkumar bhatnagar	86.00	86.00		( 4699 )	<p>Name of the tenant and Rent</p> <p>Other Rights</p> <p>nikada</p> <p>nikada ( 632 )</p> <p>akroshak vapar</p> <p>no. nishadhar vatal yashvatsadi kara nishadhar-1/A-1/jamiechub-1/Arvi-mac-62/2018 dt.24/03/2019 arviya maharashtra (jashu mafu) adhiniyam 1964 che karon 423b madal caradhar karal rapantaran kar v bishadi skarnichi rakharan vasal karanyat zali sun tyamale apas jagravar niyojiti akroshak vapar karanyacha kalyas tyapurvi sambandhit niyojan pradharoshchi v kar svachhak tyo pradharoshchi purvaparanaghi ghane bandhanhark rahil ( 4699 )</p> <p>grahamit fadar : nahi.</p> <p>shetacha gharcas kramank : 4699 v Date : 09/02/2020</p>
<div style="text-align: center;">  <p>भूमि अभिलेख निर्णायक</p> <p>ई महाभूमि</p> <p>For View Only</p> </div>							
Joint Mutation No. ( 144 X 632 X 704 X 1279 X 1368 X 2208 X 2209 X 3105 X 3865 X 4433 X 4545 X 4699 )							seema ani bhupaman chitche :

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakyi alhawa kaydeysheer babinsathi vaprata yonar nahi.

## Village mamuna bara ( pikanchi nondavhi )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yuti nisan 29 ]

Village :- gokhivire ( 944016 )

Taluka :- vasai

District :- palghar

82/8/1

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					E	n			E.	
					chou.mn	chou.mn			chou.mn	
2019-20	sarapoon varah							pad	0.8860	

Note : \* sadashi nend mobile up dharan gharcas aleti etc

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakyi alhawa kaydeysheer babinsathi vaprata yonar nahi.

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सिंदूर मजला, नवीन प्रशासकीय इमारती, कोरसल हॉल समोर, पुणे  
दुरध्वनी : ०२०-२६०५०००६, ई-मेल : dnmah@dmah.gov.in/dm@dmah.gov.in  
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महाराष्ट्र शासन  
महसूल विभाग  
गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे



महाराष्ट्र शासन  
महसूल विभाग  
गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे

MAHA Bhulekh (i.e. Maharashtra Bhumi Abhile)

मुख्यपृष्ठ



ahwal Date : 28/08/2022

## Village Form Seven ( Records of Right )

{ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 }

Village :- gokhivre ( 944016 )  
ulpin : 14829872293Taluka :- vasai  
bhumapagn kramank v upavibhag : 82/9

District :- palghar



14829872293

Tenure Type :- bhogavatadar varg -1

shetache shanik nao :

Area, Unit & Assessment	khata kra.	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit akhavshik bha sheti Assessment	akhavshik bha sheti Assessment	devendra rajkumar kadhani	3.80.00	38.00		( 4612 )	<p>Name of the tenant and Rent</p> <p>Other Rights</p> <p>takeid</p> <p>takeid ( 631 )</p> <p>[ name ] ( 4597 )</p> <p>[ 4612 khavshik ground + zone 456-54 khavshik highland 253-61 khavshik ]</p> <p>( 4597 )</p> <p>akhavshik vapar</p> <p>adakhshik shikwa adhin rakha khavshik Assessment v vaparanti kar bhavna</p> <p>bha sheti ( 4612 )</p> <p>prahabhi ferasar : nahi</p> <p>shavshik pheror kramank : 4612 v Date : 23/08/2019</p>
<p style="text-align: center;">भूमि अभिलेख निर्णयात</p> <p style="text-align: center;">ई महा भूमि</p> <p style="text-align: center;">For View Only</p>							
June Mutation No. ( 144 X 632 X 704 X 1279 X 1368 X 2208 X 2209 X 3105 X 3865 X 4307 X 4433 X 4545 X 4597 X 4612 )							seema ani bhumagan chitche :

suchana : yah sankotashilavar darshavilchi mahiti he konatyahi shasakiy aahawa kaydeysheer babinsathi vaprata yenar nahi.

## Village namuna bara ( pikamchi nondavhi )

{ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yati nam 29 }

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

82/9

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					E.	E.			%	
					chavshik	chavshik			chavshik	
2019-20	sumposan varsh							khavshik	8.0020	
								pad	8.0200	

Note : \* sadrachit namd mobile op dretan ghavet alehi zhe

suchana : yah sankotashilavar darshavilchi mahiti he konatyahi shasakiy aahawa kaydeysheer babinsathi vaprata yenar nahi.

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महाराष्ट्र शासन  
महसूल विभाग

गाव नमुना नंबर ७/१२ व ८ अ, मालमता पत्रक पाहणे



MAHA Bhulekh (i.e.

मुख्यपृष्ठ

ahwal Date : 28/08/2022



## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]

Village :- gokhivre ( 944016 )  
ulpin : 39995075157

Taluka :- vasai  
bhumapam kramank v upavibhag : 62/10

District :- palghar



39995075157

Tenure Type :- bhogavatadar varg - I		shetache shanik nao :-				Mutation number	Tenancy, Rent & Other Rights
Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable		
Area Unit akroshik Area bia akroshik Assessment	739	ashil ramchandra gupta	2.00.00	20.00		( 4868 )	Name of the tenant and Rent  Other Rights takada rakada ( 633 ) akroshik vapar ma.tekshadkar vasal yashchodadi kramank-1/te-1/jambhodh Ravi-vasar-644/2019 sh.29/11/2019 arwaye maharashtra janshi mahadhi adhiyayan 1966 che kalam 422b madhi taradimadar kaval rapastaran has v bharat akroshik rakham yash karayast ashil aash yashale apast jagavar shyok akroshik vapar krayachya asalyas tyapurav sambandhi ntyojan pradhimachhi v itar avashyak tyo pradhimachhi purragravani gi ghene bandhakararak yashil ( 4868 )  pralambdi feruldar : nashil  shetacha phurdar kramank : 4868 v Data : 13/03/2020  jane Mutation No. ( 104 ) ( 345 ) ( 546 ) ( 632 ) ( 1369 ) ( 1542 ) ( 2099 ) ( 2140 ) ( 3796 ) ( 4433 ) ( 4545 ) ( 4868 )

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakiy athawa kaydeysheer babinsathi vaprata yonar nahi.

## Village namuna barna ( pikanchi wondavhi )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 jani niem 19 ]

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

: 62/10

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					n.	n.			n.	
					chakane	chakane			chakane	
2019-20	amposon varah							pad	0.0200	

Note : \* nashchi asad mobilic ap divara ghoset sheti shi

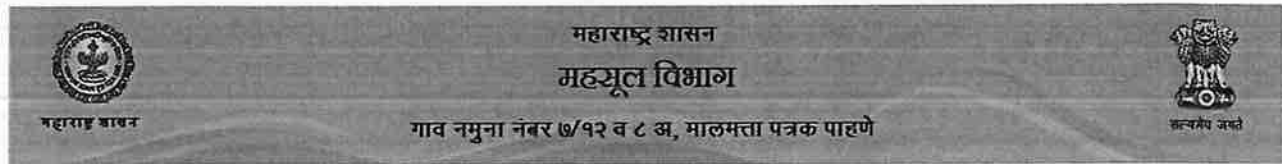
suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakiy athawa kaydeysheer babinsathi vaprata yonar nahi.

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दूरध्वनि : ०२०-२६०५०००६, ई-मेल : dimah@dimah.gov.in

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home page



Report Date : 09/08/2024

## Village Form Seven ( Records of Right )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 )

Village :- Gokhivre (944016)  
pu-id : 10469861751Taluka :- Vasai  
bhumapan kramank v upavibhag : 83/1

District :- Palghar



10469861751

Tenure Type : bhogavatadar varg -I

shetache suhanik nao :

Area, Unit & Assessment	khate kra	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit Hm.Arre.Sq.mms	181	devendra rajnikant kadhani	0.15.69	2.14		( 5331 )	Name of the tenant and Rent
a) Lagavad Yogya Area							
Non-irrigated 0.43.30	436	Tereja Luis Lapis				(1825)	Other Rights
Irrigated -		Joze Luis Lapis				(1825)	
Total Cultivable 0.43.30		Salle Luis Lapis				(1825)	
Area		sanjay Luis Lapis				(1825)	prathamit ferakar : nahl
b) Uncultivable Area		March Luis Lapis				(1825)	
(lagavad syogya)		James Luis Lapis				(5331)	shetacha pherfar kramank 5728 v Date : 09/08/2024
Class (A) -		Santa Michael Lapis				(5623)	
Class (B) -		James Luis Lapis	0.40.04	2.66		(5623)	
Total po kh 0.80.00		Noel Michael Lapis				(5623)	
Total Area (a+b) 0.43.30		nayan Michael Lapis				(5623)	
Assessment 5.91		nema denis demelo				(5623)	
Special Assessment -		nema Michael Lapis				(5623)	
		nitin Michael Lapis				(5623)	
		silvester pitor alphonse				(5623)	
		mary joze Lapis				(5623)	
		Sister Stella Gabriel Lapis				(5623)	
		veronica Michael madriga				(5623)	
		rafael dr manik ghonsalvis				(5623)	
		laura paul dikoshia				(5623)	
		cathrine Michael dsora				(5623)	
		rofla richard dikoshia				(5623)	
		mary Michael feres				(5623)	
		frank dr manik ghonsalvis				(5623)	
		gabriel Luis Lapis				(5623)	
		rupesh dr manik ghonsalvis				(5623)	
		johna Luis alphonse				(5623)	
		jospeca sebastien rebello				(5623)	
		gabriel silvester pinchia				(5623)	
		Santa Alex Ghonsalvis				(5623)	
		sanjay silvester pincha				(5623)	
		sachin silvester pincha				(5623)	
		martyn marseleen Lapis				(5623)	
		stefr Cecilia marseleen Lapis				(5623)	
		francisca hiaz Lapis				(5623)	
		Catherine Thomas dikoshia				(5623)	
		Barrie henri dsaza				(5623)	
		Isabeyan marseleen Lapis				(5623)	
		camilo Area	0.19.91	2.66			
	1725	mary sebastien disa	0.07.88	1.85		( 4209 )	

June Mutation No. : ( 184 ) ( 447 ) ( 556 ) ( 1368 ) ( 1534 ) ( 1617 ) ( 1674 ) ( 1828 ) ( 2099 ) ( 2292 ) ( 2456 ) ( 4184 ) ( 4209 ) ( 4433 ) ( 4545 ) ( 5331 ) ( 5728 )

:seema am bhumapan dhanhe

suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakyi aihawa kaydeysheer babinsathi vaprata yentar nahi.

## Village namuna bara (pikanchi nondavhi)

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yaddi nian 29 )

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

bhumapan kramank v upavibhag : 83/1

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					key.a chou.me	key.a chou.me			key.a chou.me	
2023-24	Idharip	1725*						garat pad	0.0730	
		436*						garat pad	0.3520	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketashlavar darshavileli mahiti he konatyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

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महाराष्ट्र शासन  
महसूल विभाग

गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे



सत्यमेव जयते

MAHA Bhulekh (i.)

मुख्यपृष्ठ



ahwal Date : 08/06/2023

## Village Form Seven ( Records of Right )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 )

Village :- **gokhivre ( 944016 )**  
ulpin : **32747200401**

Taluka :- **vasai**District :- **palghar**

32747200401

Tenure Type : **bhogavatadar varg - 2**

shetache shanik nao :

Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit. Hm.Are.Sq.mtrs	776	waghoba devadhar	0.14.20	3.00		(4283)	Name of the tenant and Rent
a) lagavad yogya Area							Other Rights
Non-Irrigated	-						aksham pradhikaryandiya purav purvanagi shivoy hastantaras bandi -
Irrigated	-						devasthan nam jamin. (4283)
vakas	0.14.20						istar
Total cultivable Area 0.14.20							devasthan nam jamin aalyane v pritarani purnavaklokaacha
b) Uncultivable Area							prastav sadar aalyane anelaram adch belparyant hastantarwas
(lagavad ayogya)							pratihandh (4894)
Class (A)	-						istar
Class (B)	-						devasthan nam varg 3 (4283)
Total po kh.	0.00.00						shir waghoba vahl anandlal anant chandhary (4283)
Total Area (a+b)	0.14.20						
Assessment	0.19						
Special Assessment	-						
For View Only							
jume Mutation No. ( 103 )( 600 )( 1368 )( 3695 )( 4894 )( 4283 )( 4452 )( 4542 )							rooms ani bhupaman chintre :

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

## Village namuna bara ( pikanchi nondavhi )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yati niam 29 )

Village :- **gokhivre ( 944016 )**Taluka :- **vasai**District :- **palghar**bhupaman kramank v upavibhag : **84/1**

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey.k chou.ane	hey.k chou.ane			hey.k chou.ane	
2022-23	kharip	776*						gavar pad	0.14.20	

Note : \* sadrachhi nond mobile ap dvaren ghenet aileli ahe

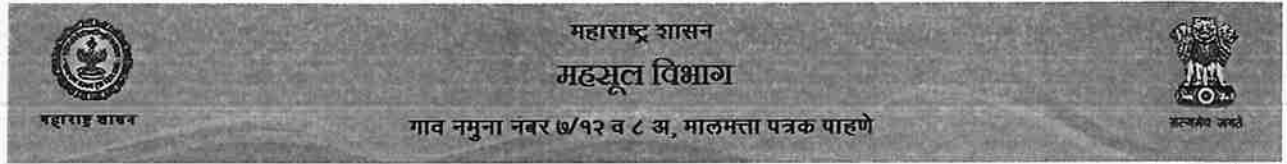
suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

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दूरध्वनी : ०२०-२६०५०००६, ई-मेल : dlmah@dolmah[at]nic[dot]in

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MAHA Bhulekh

home page



Report Date : 08/06/2023

## Village Form Seven ( Records of Right )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 )

Village :- Gokhivre (944016)  
Ulpin :- 38376447000

Taluka :- Vasai  
bhumapan kramank v upavibhag : 84/2

District :- Palghar



38376447000

Tenure Type : bhogavatadar varg - I

shetache shanik nao :

Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit Akrushik Area 15.48.00 Assessment 154.00	1187	Mary Sebastian Pereira	15.48.00	154.00	( 4625 )		<p>Name of the tenant and Rent</p> <p>Other Rights</p> <p>rukada</p> <p>tukada ( 632 )</p> <p>akrushik vapar - rahivas (Village/tonabheril)</p> <p>ma taheldar yanche patra kram. mahsul/ke l/ke l/gaminhab/ karvi - for</p> <p>1469/2018 Date 1/12/2018 v Government of Maharashtra rajpatra bhag</p> <p>char kram. 3dL5/1/2017 madhil adhyadesh kram. 02/2017 v vividh</p> <p>adhinikamail v nityojan pradhikarachi ati v charitra adhinikam</p> <p>blushel Assessment v rajpatra ke kar bhavana kala asan pradhikarachi</p> <p>purva parmanagi gheche bandhankarak mahil. ( 4625 )</p> <p>prahambh ferfar : nahi.</p> <p>shetachha phorfar kramank : 4625 v Date : 07/02/2019</p>
<p>For View Only</p>							
<p>San Mutation No. ( 93 X 284 ) ( 306 X 322 X 469 ) ( 632 X 927 ) ( 1200 ) ( 1301 X 1340 X 1546 ) ( 1809 X 1923 ) ( 2175 X 3825 ) ( 3206 X 3287 ) ( 3208 X 3234 ) ( 3246 ) ( 3301 ) ( 4432 X 4542 ) ( 4625 )</p>							seema ani bhumapan chinho :

suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakiy alhawa kaydeysheer babinsathi vapra yaenar nahi.

Note :- yah 7/12 varil Village namuna - 12 madhil pikanche Total Area hey sakrutadarshani Village namuna - 7 chya ekun kshetrachya melat nahi. yahabat sambandhitanni pikanchya kshetrachi churasti karoon ghyavi.

## Village namuna bara (pikanchi mondarhi)

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yathalam 29 )

Village :- Gokhivre (944016)

Taluka :- Vasai

District :- Palghar

bhumapan kramank v upavibhag : 84/2

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey r chas.m	hey r chas.m			hey r chas.m	
2019-20	Samapoon Varsh							Pat	0.1540	

Note : \* sadrachi nond mobile ap dvaren ghenet aleli ahe


suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakiy alhawa kaydeysheer babinsathi vapra yaenar nahi.

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सत्यमेव जयते

MAHA Bhulekh (i)
home page



Report Date : 26/09/2023

## Village Form Seven ( Records of Right )

( Maharashtra Land Revenue Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 )

Village :- Gokhivre (944016)  
Upin :- 23640249173

Taluka :- Vasal  
bhutapan kramank v upavibhag : 84/3

District :- Palghar



23640249173

Tenure Type : bhogavatadar varg -1

shetache shanik nao :

Area, Unit & Assessment	khat kra	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit Akrushik Area bin Shou Assessment	181	devendra rajnikant hadkani	20.28.00	282.00		( 4864 )	<p>Name of the tenant and Rent</p> <p>Other Rights</p> <p>rukada</p> <p>rukada ( 632 )</p> <p>akrushik vapar - rahivas (Village/aharabahi)</p> <p>10% (non-deductible)-197.39 chow.me. ( 3956 )</p> <p>akrushik vapar 1973.94 chow.me. Area bhusheti ase. ( 3956 )</p> <p>akrushik vapar</p> <p>ma.tahsildar vasal yanchekadil kara.maharaj/c-1/ra-1/jamshab</p> <p>Arvi-cesar-642/2019 di.29/1/2019 anwaya maharashtra jatin mahar</p> <p>adhiyarn 1966 che kalam 4226 mudhil tartulibhar kaval ropanaram</p> <p>kar v bhusheti akamichi raktam vasal karanyat aali asan tyasale</p> <p>apnas jagavar niyojit akushik vapar karanyat aali tyasale</p> <p>sambandhi niyojan pradhikarachi v itar avashyak ty pradhikarachi</p> <p>parvapatnagi ghene bandhakarachi rakt. ( 4864 )</p> <p>[ gubunihet ] ( 5346 )</p> <p>[ hasin-kushalik-beti-li-gupati-shalhe-goldhiv-re-yancha</p> <p>ughra-60000000(yaha-koti)matracho-boja-asa-]( 5546 )</p> <p>prahantit feratir : rakt.</p> <p>shetacha phorfar kramank 5546 v Date : 26/09/2023</p>
June Mutation No. ( 348 ) ( 350 ) ( 632 ) ( 1365 ) ( 1368 ) ( 1432 ) ( 2281 ) ( 2203 ) ( 3552 ) ( 3572 ) ( 3658 ) ( 3956 ) ( 4432 ) ( 4445 ) ( 4542 ) ( 4864 )							seema ani bhutapan chitro :

suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakiry athawa kaydeysheer babinsathi vaprata yentar nahi.

## Village namuna bara (pikanchi nondavhi)

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yati nam 29 ]

Village :- Gokhivre (944016)

Taluka :- Vasai

District :- Palghar

bhumapan kramank v upavibhag : 04/3

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey.n chow.me	hey.n chow.me			hey.n chow.me	
2015-20	samgaoren varsh							bincheti	0.1973	
								ped	0.0047	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakiy adhawa kaydeysheer babinsathi vapraia yenar nahi


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MAHA Bhulekh ( home page



Report Date : 05/07/2023



36760048886

Village :- Gokhivre (944016)  
Upin : 36760048886

Taluka :- Vasai  
bhupaman kramank v upavibhag : 84/4

District :- Palghar

Tenure Type :		bhogavatadar varg -I			shetache shitanik nao :		
Area, Unit & Assessment		khate kra	Name of the occupant	Area	Assessment	Uncultivable Mutation number	Tenancy, Rent & Other Rights
Area Unit : arden me. chas. sen. me.		181	devendra rajkumari ladhani	19.72.00	197.88	(4867)	Name of the tenana and Rent
Akushik Area		249	philomina gadfrie perrira			(2906)	Other Rights
ben Sheti 26.30.88			Idera post lopis			(2906)	akushik vapar
Assessment 263.00			pascal julya(jojep) lopis			(4867)	ma. tahsildar vasai yanchekadil kra. mahsul/te-1/te-1/jaminhab
			—samile Area—	6.59.00	66.00		karv-lesar-640/2019 dL29/11/2019 savaye maharashtra futorin mahoul
		[ 968 ]	(rahesh-rojendrakumar-rajgopal)			(4608)	adhiniam 1966 che kalam 4220 mudhali tarwadhar keval rupantarzan
							kar v binsheti akumishi raddam vasul karanyet nali asen vyamule
							apnas jagavar niyujit akushik vapar karanyet anayee tyapervd
							rambandit niyogon pradhikarachi v itar avashyak tya pradhikarachi
							purvapramagi ghene bandhunkarak rahil. (4867)
							pralambir Gerafar : nahi.
							shetvachha phortir kramank - 4867 v Date : 12/03/2020
							seema ani bhupaman chinhe :
June Mutation No. ( 127 X 608 X 1038 X 1274 X 1368 X 2599 X 2906 X 4136 X 4432 X 4542 X 4608 X 4867 )							

suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakii athawa kaydeysheer babinsathi vaprata yenar nahi.

## Village namuna bara (pikanchi nondavhi)

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yatil niam 29 ]

Village :- Gokhivre (944016)

Taluka :- Vasai

District :- Palghar

bhupaman kramank v upavibhag : 84/4

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey r	hey r			hey r	
					chou me	chou me			chou me	
2019-20	sarapanta varsh							na.	0.2630	


Note : \* sadrachii nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakii athawa kaydeysheer babinsathi vaprata yenar nahi.

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गाव नमुना नंबर ७/१२ व ८ अ. मालमत्ता पत्रक पाहणे



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ahwal Date : 20/03/2024

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]



15809345640

Village :- Gokhivre (944016)  
pu-id : 15809345640

Taluka :- Vasai

District :- Palghar

bhumagan kramank v upavibhag : 84/6

Tenure Type : bhogavatadar varg -1

shetache shanik nao :

Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit	Hec.Area.Sq.mtr.						Name of the tenant and Rent
a) Logavadi Yogyta Area							
Non-Irrigated	0.01.00					(1825)	Other Rights
Irrigated	-					(1825)	
Total Cultivable	0.01.00					(1825)	
Area						(1825)	prahambit ferasar : naha
b) Uncultivable Area						(1825)	
(logavadi ayogyta)						(2099)	shetacha pherfar kramank : 5331 v Date : 07/12/2022
Class (A)	-					(2099)	
Class (B)	-					(4184)	
Total po kh.	0.00.00					(5331)	
Total Area (a+b)	0.01.00						
Assessment	8.19						
Special Assessment	-						
Base Mutation No.	( 178 ) ( 184 ) ( 447 ) ( 556 ) ( 1368 ) ( 1533 ) ( 1534 ) ( 1674 ) ( 1825 ) ( 2099 ) ( 2456 ) ( 4184 ) ( 4209 ) ( 4466 ) ( 4542 )						:seema nni bhumagan chinho.

suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakiy athawa kaydeysheer babinsathi vapraia yentar nahi.

## Village namuna bara (pikanchi nondavhi)

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yastil nizam 29 ]

Village :- Gokhivre (944016)

Taluka :- Vasai

District :- Palghar

bhumagan kramank v upavibhag : 84/6

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey r choud.me	hey r choud.me			hey r choud.me	
2023-24	kharij	1542*						govat pad	0.0100	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakiy athawa kaydeysheer babinsathi vapraia yentar nahi.

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## Village namuna bara ( pikanchi nondavhi )

[ Maharashtra Land Records Revenue Records of Right and Regulators (Book Keeping) Rule 1971 yati nam 29 ]

Village :- gokhivre ( 944016 )

Taluka :- vasal

District :- palghar

bhumapan kramank v upavibhag : 84/7

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey.r. chou.me	hey.r. chou.me			hey.e. chou.me	
2023-24	kharip	1703*						gavat pad	0.0620	
		181*						chahs pad	0.1200	
		738*						chahs pad	0.2145	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

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महाराष्ट्र शासन  
महसूल विभाग

गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे



MAHA Bhulekh

home page



ahwal Date : 21/08/2024

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]



17760730683

Village :- Gokhivre (944016)  
pu-id : 17760730683

Taluka :- Vasai

District :- Palghar

bhumapan kramank v upavibhag : 84/11

Tenure Type : bhogavatadar varg -1

shetache shanik nao :

Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit : echa, dec, dha, sra, dec, dec	181	devendra rajikant laharani	1.12.00	11.00		( 4067 )	Name of the tenant and Rent
Akushik Area	249	ghulamina gadfree perera				( 2906 )	Other Rights
bin Sheti 1.50.00		khara pool lopis				( 2906 )	rukada
Assessment 15.00		prasad jayraj(jeep) lopis				( 4067 )	rukada ( 632 )
		-----satruti Area-----	0.18.00	4.00			akushik vapor
	[ 249 ]	[ rukesh-rajendrakumar angavval ]				( 4608 )	ma.tahsildar vasai yanchekadil kra.mahsulic-1/te-1/jaminhab
<div>भूमि अभिलेख निर्णयात्</div> <div>ई महाभूमि</div> <div>For View Only</div>							
Jame Mutation No. ( 127 X 609 ) ( 632 X 1039 ) ( 1274 X 1368 ) ( 2599 ) ( 2906 X 4136 X 4466 ) ( 4608 X 4867 )							pralambit kerafar : naki
							shetvascha pherfar kramank : 4067 v Date - 12/03/2020
							seema ani bhumapan chinhe :

suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

## Village namuna bara (pikanchi nondavhi)

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yatil sloka 29 ]

Village :- Gokhivre (944016)

Taluka :- Vasai

District :- Palghar

bhumapan kramank v upavibhag : 84/11

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey r chou.me	hey r chou.me			hey r chou.me	
2019-20	sanpouren varsh							Kharaba	0.0159	

Note : \* sadrachi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

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महाराष्ट्र शासन  
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home page



ahwal Date : 21/08/2024

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]

Village :- Gokhivre (944016)  
pu-id : 28862327260

Taluka :- Vasai

District :- Palghar



28862327260

Tenure Type : bhogavatadar varg -1

shetache shanik nao :

Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit : xchaq.mh.chou.scs.mh	181	devendra rajkanti bakhani	0.38.00	3.00 p.m		( 4867 )	Name of the tenant and Rent
Akrushik Area	249	philemina gadfrie garvira				( 2906 )	Other Rights
bin Sheti 0.50.00		klera post lapis				( 2906 )	rukada
Assessment 5.00		pasal julya(jeep) lapis				( 4867 )	tukada ( 632 )
		—samalk Area—	0.12.00	2.00 p.m			akrushik vapor
	[ 963 ]	[rahul-rojendekumar-agarwal]				( 4609 )	ma.tahildar vasai yanchekadil kra.mahsul/te-1/te-1/jaminhab
							hasi-lekar-640/2019 dt.29/11/2019 anwaye maharashtra jamin mahsul
							adhinyam 1966 che kalam 422h madhil tartudinisar keval rupantarana
							kar v blacheti akamichi raktam vasal karanyet aah avon tyamale
							apnas jagavar nhyoji akrushik vapor kraaycha amlyas tyasporvi
							sambandhit nhyojan pradhiakarachi v kar avashyak tyu pradhiakarachi
							porvaprvnangi ghene karthunkarak rahil. ( 4867 )
							pralambit ferfar : naki
							shetacha pherfar kramank - 4867 v Date - 12/03/2020
							:seema and bhumapan chinho :

June Mutation No. ( 127 X 688 ) ( 632 X 1838 ) ( 1274 X 1368 ) ( 2599 X 2906 X 4136 ) ( 4466 X 4608 ) ( 3867 )

suchana : yah sanketasthavar darshavileli mahiti he konoryahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

## Village samuna bara (pikanchi nondavhi)

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yatil niam 29 ]

Village :- Gokhivre (944016)

Taluka :- Vasai

District :- Palghar

bhumapan kramank v upavibhag : 84/12

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey r chow.mh	hey r chow.mh			hey r chow.mh	
2019-20	sampoon varsh							Kharaba	0.8050	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konoryahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

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महाराष्ट्र शासन  
महसूल विभाग

गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे



कल्याणेंच अयतें.

**MAHA Bhulekh (le Maharashtra**

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Government of Maharashtra

Report Date : 08/04/2024

**Village Form Seven ( Records of Right )**

(Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971)

**Village :- Gokhivre (944016)**

**Taluka :- Vasni**

**District :- Palghar**

pu-id : 30587267556

bhumapan kramank v upavibhag : 85/1/1



30587287566

**Tenure Type :** bhogavatadar varg -1

shetache shanik nao :

Area, Unit & Assessment	khatra.	Name of the occupant	Area	Assessment	Uncultivable Mutation number	Tenancy, Rent & Other Rights
Area Unit Akrushk Area bir Sheti Assessment	168	Mary Maryam Ghonsalvis Sanjeer Maryam Ghonsalvis Sahiba Maryam Ghonsalvis Sameer Maryam Ghonsalvis Usha Maryam Ghonsalvis -----samika Area-----	19.50.00	195.00	(1925) (1925) (1925) (1925) (5644)	Name of the tenant and Rent   Other Rights rukada tukada ( 632 ) akrushik vapar ma.tahasildar tatha karyakari dandadhihari vasa ymchekadhi rahivas v vasija akrushik vapar babat patita krn.mahsolik l/te 142h/kawi.16458/exar.251/2023 dt.31/01 /2024 anwaye ma.tahasildar yanchnyaktid 42 b chya potradil l te 12 ati v shartanucar v notid kelli ase. ( 5644 )  pralambit surdar : nahi.  shetache pherfar krunenk : 5644 v Date : 16/02/2024  seema ani bhurman chinhe :
Fine Mutation No.	[ 140 X 632 ] [ 1368 ] [ 1645 ] [ 1925 ] [ 4433 X 4542 ] [ 5644 ]					

suchana : yah sanketasthityar darshavileli mahiti he konotyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

**Village namuna bara (pikanchi nondavhi)**

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yatil niam 29 ]

**Village :- Gokhlyre (944016)**

**Taluka :- Vasai**

District :- Palghar

bhumapan kramank v upavibhag : 85/1/1

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hectare	hectare			hectare	
2023-24	kharif	169						cum	0.1900	

**Note :** \* sadrachi nond mobile ap dvaren ghenet aleli ahe


suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakiy alhawa kaydeysheer babinsathi vaprata yenar nahi.

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MAHA Bhulekh (ie Maharashtra)

home page



Report Date : 08/01/2024

## Village Form Seven ( Records of Right )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 )

Village :- Gokhivre (944016)  
U/pin : 20654085638

Taluka :- Vasai  
bhumapan kramank v upavibhag : 85/1/2

District :- Palghar



20654085638

Tenure Type : bhogavatadar varg -1

shetache shanik nao :

Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit Net Area Sq. mtrs	( 843 )	[dumilal-peter-ghonsalvis				( 4184 )	Name of the tenant and Rent
a) Lagavad Yoga Area		[Michael-Peter-Ghonsalvis				( 4972 )	.....
Non-Irrigated	0.10.10	[Philip-Peter-Ghonsalvis	0.10.00	0.62		( 4972 )	Other Rights
Irrigated	-	[John-Viktor-dias				( 4972 )	tukada
Total Cultivable	0.10.10	[angelina-lina-demele				( 4972 )	tukada ( 632 )
Area		[michael-lina-ghonsalvis				( 4972 )	.....
b) Uncultivable Area		[John-Viktor-dias				( 4972 )	.....
(lagavad yoga)		[Sebastian-Peter-Ghonsalvis				( 4972 )	.....
Class (A)	-	-----samikz Area-----	0.00.00	0			.....
Class (B)	-						.....
Total po kh.	0.00.00	1874	newish group of campaign tarfe prapra. Wasim	0.01.44	0.09	( 4972 )	.....
Total Area (a+b)	0.10.10		Shameem Khan				.....
Assessment	0.62	1929	rita krisindar dillona			( 4972 )	.....
Special Assessment	-		Michael Peter Ghonsalvis			( 4972 )	.....
			Sebastian Peter Ghonsalvis			( 4972 )	.....
			John Viktor dias			( 4972 )	.....
			angelina lina demeio			( 4972 )	.....
			Philip Peter Ghonsalvis			( 4972 )	.....
			-----samikz Area-----	0.08.66	0.53		.....
June Mutation No.	( 148 ) ( 632 ) ( 1368 ) ( 1491 ) ( 2982 ) ( 2994 ) ( 2995 ) ( 3375 ) ( 3543 ) ( 3768 ) ( 3786 ) ( 3788 ) ( 3838 ) ( 4048 ) ( 4319 ) ( 4319 ) ( 4361 ) ( 4374 ) ( 4415 ) ( 4475 ) ( 4484 ) ( 4542 ) ( 4805 )						.....
							.....

suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakiy alhawa kaydeysheer babinsathi vaprata yenar nahi.

## Village namuna bara (pikanchi nomdavhi)

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yatil alam 29 )

Village :- Gokhivre (944016)

Taluka :- Vasai

District :- Palghar

bhumapan kramank v upavibhag : 85/1/2

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey r chou.me	hey r chou.me			hey r chou.me	
2023-24	idharip	1929*						gavat pad	0.0866	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakiy alhawa kaydeysheer babinsathi vaprata yenar nahi.

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Report Date : 08/04/2024



## Village Form Seven ( Records of Right )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 )



16283232243

Village :- Gokhivre (944016)  
pu-id : 16283232243

Taluka :- Vasai  
bhupaman kramank v upavibhag : 85/1/4

District :- Palghar

Tenure Type : bhogavatadar varg - I		shetache sthanik nao :			
Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment Uncultivable Mutation number	Tenancy, Rent & Other Rights
Area Unit Akrushik Area bn Sheti 2.00.00 Assessment 20.00	168	mary maryann ghonsalvis Sahlee Maryann Ghonsalvis Sameer Maryann Ghonsalvis Sanjeev Maryann Ghonsalvis ulhas maryann ghonsalvis —samike Area—	2.00.00	( 2925 ) ( 2925 ) ( 2925 ) ( 2925 ) ( 5644 )	Name of the tenant and Rent Other Rights rukada rukada ( 632 ) akrushik vapar ma.tahasildar tatha karyakari dandadhikari vasal yanche kadil rahivas v vaniyya akrushik vapar babat patra kra.mahsul/k 1/te 1/42b/kawL16458/evan.251/2023 di.31/01 /2024 anwaye ma.tahasildar Yanchyakhil 42 b ekya patratil 1 te 12 seti v dharfinsar v wadil kalli asc. ( 5644 ) prabandhi dekar : nahi. shetacha pherfor kramank : 5644 v Data : 16/02/2024
For View Only					
Jane Mutation No. ( 148 X 632 I) 1368 X 1645 X 2925 X 4542 X 5644 )					
seema ani bhupaman chinhe :					

suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

## Village namuna bara (pikanchi nondavhi)

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yamliam 29 )

Village :- Gokhivre (944016)

Taluka :- Vasai

District :- Palghar

bhupaman kramank v upavibhag : 85/1/4

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey r chou.me	hey r chou.me			hey r chou.me	
2023-24	kharip	168*						govat pad	0.0200	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

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Report Date : 08/01/2024

**Village Form Seven ( Records of Right )**

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]

**Village :- Gokhivre (944016)**  
**Ulipin : 23230250623**

### Tajuka.- Vasai

**District :- Palghar**



**Tenure Type :** bhogavatadar varg -1

shetache shanik nao :

Area, Unit & Assessment	khaite kra.	Name of the occupant	Area	Assessment	Uncultivable	Muration number	Tenancy, Rent & Other Rights
Area Unit	Fltr Area Sq. mtr	[ 643 ]	[dumilal-piter-ghonsalvis			( 4184 )	Name of the tenant and Rent
a) Lagavad Vyagra Area		[Michael-Peter-Ghonsalvis	0.03.50	0.42		( 4972 )	.....
Non-Irrigated	0.83.50	[Phillip-Peter-Ghonsalvis				( 4972 )	Other Rights
Irrigated	-	[Johna-Viktor-Dias				( 4972 )	rukada
Total Cultivable	0.03.50	[angelina-inas-domello				( 4972 )	rukada ( 632 )
Area		[ralesh-inas-ghonsalvis				( 4972 )	.....
b) Uncultivable Area		[rita-kristafar-dillima				( 4972 )	.....
(lagavad vyagra)		[Sebastin-Peter-Ghonsalvis				( 4972 )	pralambit farafar : mahi
Class (A)	-	-----same Area-----	0.00.00	0			.....
Class (B)	-						shevtacha pherfar bramard : 4972 v Date : 12/07/2021
Total po kh.	0.80.80	1874	mounish group of campaign tarfe proper. Wazim	0.00.58	0.06	( 4972 )	.....
Total Area (arab)	0.83.50		Shamnoon Khan				
Assessment	0.42	1929	rita kristafar dillima			( 4972 )	
Special Assessment	-		Michael Peter Ghonsalvis			( 4972 )	
			Sebastin Peter Ghonsalvis			( 4972 )	
			Johna Viktor Dias			( 4972 )	
			angelina inas domello			( 4972 )	
			Phillip Peter Ghonsalvis			( 4972 )	
			-----same Area-----	0.03.00	0.36		
Future Mutation No.	( 148 ) ( 632 ) ( 1368 ) ( 4491 ) ( 2983 ) ( 2984 ) ( 2995 ) ( 3375 ) ( 3543 ) ( 3786 ) ( 3788 ) ( 3838 ) ( 4049 ) ( 4318 ) ( 4319 ) ( 4361 ) ( 4374 ) ( 4415 ) ( 4475 ) ( 4484 ) ( 4542 ) ( 4605 )						joersa ani bhumapan chivhe :

suchana : yah sanketasthavar darshavileli mahiti be konotyahi shasakriy athawa kaydeysheer babinsathi vaprata yenar nahi.

**Village namuna bara (plkanchi nondavhi)**

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 याचिका क्र 29 ]

**Village :- Gokhivre (944016)**

**Taluka :- Vasai**

District :- Palghar

bhumapan krāṇāṅk v upavibhag : 85/1/8

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey r chhu.me	hey r chhu.me			hey r chhu.me	
2023-24	Idharip	1929*						gavar pad	0.0300	

**Note :** \* sadrachi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konotyahi shesakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

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Report Date : 08/06/2023

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]

Village :- Gokhivre (944016)  
Ulpin : 34190017497

Taluka :- Vasai

District :- Palghar



34190017497

Tenure Type : bhogavatadar varg -1

shetache shanik nao :

Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit : a chou. me Akrushik : Area bin Shou : 10.10.00 Assessment : 101.00	181	devendra rajlankant ladhani	10.10.00	101.00		( 4691 )	<p>Name of the tenant and Rent</p> <p>Other Rights</p> <p>tukada</p> <p>tukada ( 632 )</p> <p>akrushik vapar</p> <p>ma.tahsildar vasai yanchekadil kra.mahsul/ke-1/te-1/jaminbah</p> <p>-1/kavi/-tr-126/2019 dl.16/02/2019 anwaye maharashtra jamin mahsul</p> <p>adhinyam 1966 che kalam 422h madhil tartudinisar keval rupantaran</p> <p>kar v bindhali akarniche raldam vasai karanyat naki asun tyamde</p> <p>apons jagavar niyojit akrushik vapar kraeyacha aalyas tyagurvi</p> <p>asambandik niyojan pradikavachi v list avashyak eya pradikavachi</p> <p>porvaprtanagi ghene bandhankarak rabil. ( 4691 )</p> <p>pralambit ferofar : naki</p> <p>shetache pherfar kramank : 4691 v Date : 19/02/2020</p>
<p>June Mutation No. ( 317 ) ( 632 ) ( 1025 ) ( 1368 ) ( 1636 ) ( 2853 ) ( 3955 ) ( 4433 ) ( 4542 ) ( 4691 )</p>							seema ani bhumapan chine :

suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

Note :- yah 7/12 varil Village namuna - 12 madhil pikanche Total Area hey sakrutadarshani Village namuna - 7 chya ekun kshetrachya melat nahi. yzbbab sambandhitanni pikanchya kshetrachi duruti karoon ghyavi.

## Village namuna bara (pikanchi mondarhi)

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yail niam 29 ]

Village :- Gokhivre (944016)

Taluka :- Vasai

District :- Palghar

bhumapan kramank v upavibhag : 85/3/b

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey r. chou.me	hey r. chou.me			hey r. chou.me	
2015-16	camparon varsh							Paal	0.1010	

Note : \* sadrachi nond mobile ap dvaren ghenet aleli ahe


suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

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altwal Date : 20/03/2024

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]



13533386223

Village :- Gokhivre (944016)  
pu-id : 13533386223

Taluka :- Vasai

District :- Palghar

bhumapan kramank v upavibhag : 85/6

Tenure Type : bhogavatadar varg -1

shetache shanik nao :

Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit : e.chw.roc.dwa sen.mc. Akrushik Area tan Sheti 2.30.00 Assessment 23.00	1826	Mat: sai ridam riyalarse pra. li. tarlo dafrekar devendra rajnikant ladhani	2.30.00	23.00		( 4861 )	<p>Name of the tenant and Rent :</p> <p>Other Rights</p> <p>rukada</p> <p>rukada ( 632 )</p> <p>akrushik vapar</p> <p>ma.tahsildar vasai yanchekadil kra.mahsul/1/c-1/jaminhab</p> <p>hasi/c-1/c-645/2019 dt.29/11/2019 anwaye maharashtra jamin mahsul</p> <p>a dhiniyam 1966 che kalam-422b madhil tartudinuar keval rupantaran</p> <p>kar v bharhet akornichi rakdam vana karanyat aali asme tyamole</p> <p>apona jagdevar nityaji akrushik vapar kranyacha aanyas tyapurvi</p> <p>sanyandhi niyojan pradhikarnachi v kar avashyak ty pradhikarnachi</p> <p>parvaparnagi ghete bandhunkarak rahil. ( 4861 )</p> <p>prafarnbi ferfar : nakti</p> <p>shetacha shenkar kramank : 4861 v Date : 12/03/2020</p>
<p>For View Only</p>							
<p>Jan. Mutation No. ( 462 ) ( 632 ) ( 1043 ) ( 1368 ) ( 1439 ) ( 1481 ) ( 1699 ) ( 1700 ) ( 2665 ) ( 3349 ) ( 3483 ) ( 4432 ) ( 4542 ) ( 4861 )</p>							seema ani bhumapan chitrite :

suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

## Village mamuna bara (pikarnchi nondavhi)

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yatli niam 29 ]

Village :- Gokhivre (944016)

Taluka :- Vasai

District :- Palghar

bhumapan kramank v upavibhag : 85/6

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey r chou.me	hey r chou.me			hey r chou.me	
2019-20	sampoorn varsh							gavat pad	0.8198	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

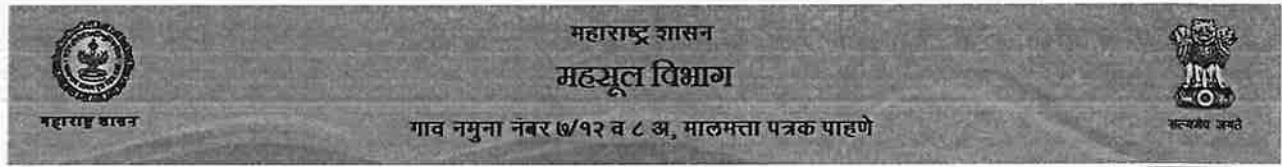
suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

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Report Date : 30/11/2023

**Village Form Seven ( Records of Right )**

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]



28202765965

Village :- **Gokhivre (944016)**  
Ulpin :- **28202765965**

Taluka :- **Vasai**  
Bhumapari kramank v upavibhag : **85/7**

District :- **Palghar**

Tenure Type :- bhogavatadar varg -1		shetache shanik nao :-					
Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit Akrashik Area Bun Sheti Assessment	435	ms. Nityasorkar tarie bhagdar gregory ignatius colase Martina Nigellyan Lepin amoni John lepis	30.10.00	301.00		( 4868 ) ( 4868 ) ( 4868 )	Name of the tenant and Rent ..... Other Rights akrashik vapor - ruhvas (Villagedasabaheri) adeshatil at kram. 1 to 8 in within rukun. ( 4483 ) ..... pralambit ferafar : nahi. ..... shetachia pherfor kramank 4542 v Date : 23/09/2018 ..... seema ani bhumapan chianic :-
June Mutation No. ( 83 ) ( 782 ) ( 1368 ) ( 1392 ) ( 2304 ) ( 2833 ) ( 3510 ) ( 3511 ) ( 3862 ) ( 4051 ) ( 4068 ) ( 4432 ) ( 4483 ) ( 4542 )							

suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakyi athawa kaydeysheer babinsathi vaprata yenar nahi.

**Village samuna bara (pikanchi nondavhi)**

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yatil nlan 29 ]

Village :- **Gokhivre (944016)**

Taluka :- **Vasai**

District :- **Palghar**

Bhumapari kramank v upavibhag : **85/7**

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey r chow.me	hey r chow.me			hey r chow.me	
2019-20	amipooch varsh							binaheri	30.1000	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakyi athawa kaydeysheer babinsathi vaprata yenar nahi.

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जमावदी आपुलत आणि संचालक भूमि अभिलेख कार्यालय  
सिंहरा मजला, नवीन प्रशासकीय इमारत, कोन्सिल हॉल समोर, पुणे  
दूरध्वनी : ०२०-२६०१०००६, ई-मेल : dlmah(dot)mah[at]nic(dot)in

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MAHA Bhulekh (ie Maharashtra)

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Report Date : 09/10/2023

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]

Village :- Gokhivre (944016)  
Upin : 28493952797

Taluka :- Vasai

District :- Palghar



28493952797

Tenure Type : bhogavatadar varg -1

shetache shanik nao :

Area, Unit & Assessment	khate kra	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit : achesi me chow son me Akrushik Area bin Sheti 12.40.00 Assessment 134.00	1826	May. sai ridam riyaltara pea. li tarfe shrekar devendra rajnikant bedhani	12.40.00	124.00		( 4483 )	Name of the tenant and Rent ..... Other Rights tukada tukada ( 632 ) akrushik vapor - rahivas ( Villagehasabharil ) ms. Districtlikari shane yanche kadli adesh kra/mahaul/5-1/te- 9map/gokhivre/vasai/r-102/2013 Date 05/04/2014 savaya adeshkati ( 4203 ) shartha kra. l 6e 26 adhis vahun binsheti 20 me ap road 602.97 chow me. vughun Area 637.03 chow me rahivas v vanajiya binsheti ( 4203 ) ..... prabasheti feruler : nabi ..... shetacha pherur kramank 4549 v Date : 28/09/2018 ..... seema ani bhumapan chinhe :
June Mutation No. ( 84 ) ( 85 ) ( 990 ) ( 1330 ) ( 1360 ) ( 1714 ) ( 2240 ) ( 2552 ) ( 3415 ) ( 3416 ) ( 3417 ) ( 4209 ) ( 4432 ) ( 4549 )							

suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

## Village manuna bara (pikanchi nondavhi)

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yatil niam 29 ]

Village :- Gokhivre (944016)

Taluka :- Vasai

District :- Palghar

bhumapan kramank v upavibhag : 85/9

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					key r chow me	hey r chow me			hey r chow me	
2018-20	sampasara varsh							oproad	6.0297	
								bhusheti	6.3703	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

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महाराष्ट्र शासन  
महसूल विभाग

गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे



MAHA Bhutekh (ie

[home page](#)

Report Date : 13/10/2023

Village Form Seven ( Records of Right )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 )

**Village :- Gokhvre (944016)**  
**Ulipin :- 28720497539**

Taluka :- Vasai  
bhumapan kramank v upavibhag : 85/10

District :- Palghar



**Tenure Type :** bhogavatadar varg -I

shetache shanik nao :

Area, Unit & Assessment	khate kra	Name of the occupant	Area	Assessment	Uncultivable Mutation number	Tenancy, Rent & Other Rights
Area Unit Akrashuk Area ba Sheti 43.00.00 Assessment 430.00	738	Amil Rameshchandra Gopra	43.00.00	430.00	( 4692 )	<p>Name of the tenant and Rent</p> <p>Other Rights</p> <p>ruksada ( 632 )</p> <p>akrushuk vapor</p> <p>ma.takuldar vasai yanchekadil kra.mahsulke-1/te-1/jaminhab</p> <p>-1/kavi/-sr-125/2019 di.16/02/2019 asavey chakrasashira jamrin mahsul</p> <p>ashihinyam 1966 che kulam 4220 masdhiil tarpedhousar karval rapantaram</p> <p>Kar v bindhetti akarmachi rukdan vasul karanyat ashi anan tyasale</p> <p>spnas jagavar akryuk akrushuk vapor karanyacha asalyas tyapurvi</p> <p>sanbansdhit myojan pradhikarnachi v kar avachyak tyo pradhikarnachi</p> <p>purvaprvanagi ghene bandhanikarak nahil. ( 4692 )</p> <p>pralambit faradar : nahil.</p> <p>shetvache pherfar : sanharuk : 4692 v Date : 19/02/2020</p>
<p>June Mutation No ( 154 )( 402 )( 472 )( 479 )( 608 )( 702 )( 1369 )( 2833 )( 2889 )( 2896 )( 3217 )( 3750 )( 4083 )( 4085 )( 4395 )( 4432 )( 4542 )( 4692 )</p>						<p>sooma ani bhurmapan chinthe</p>

suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakiy alhawa kaydeysheer babinsathi vaprata yenar nahi.

**Village namuna bara (pikanchi mondavti)**

(Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 याचि नम 29)

**Village :- Gokhivre (944016)**

**Taluka :- Vasai**

District :- Palghar

bhumapan kramank v upavibhag : 83/10

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramark	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	
					heyr chou.me	heyr chou.me			heyr chou.me	
2019-20	samapoon Varrk							Kharaba	0.0150	
								Pad	0.4150	

**Note :** \* sadrachi nond mobile ap dvaren ghenet ajei ahe

suchana : yah sanketashtilavar darshavileli mahiti he konatyahi shlasakiy athawa kaydeysheer babinsathi vaprata yengar nahi.

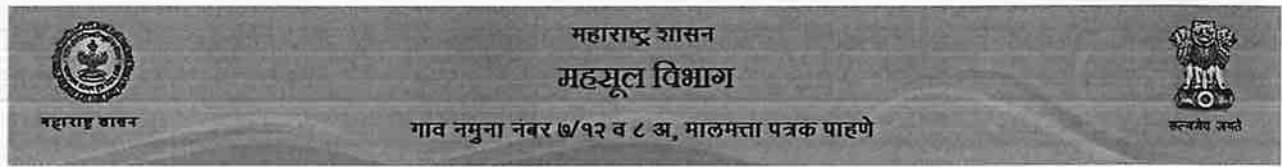
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Report Date : 28/08/2023

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]



27243099107

Village :- Gokhivre (944016)  
Upin :- 27243099107Taluka :- Vasai  
bhupaman kramank v upavibhag : 85/12

District :- Palghar

Tenure Type : bhogavatadar varg -1

shetache shanik nao :

Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit edivsu.me.chou.sem.me Akrushik Area bin Sheti Assessment 25.00	730	Anil Ramchandra Gupta	250.00	25.00		(4692)	Name of the tenant and Rent [ -sodhe-vel ] ( 702 ) [ joo-daga-kepo ] ( 702 )  Other Rights [ -me- ] ( 4425 ) [ -ma-sivil-jajje-jajj-vasai-yanche-korlat-raj-moon-309/3005-esar- dawa-nyay-upravishtha- ] ( 4425 ) akrushik vapar ma.rahiidar vasai yancheke 00 kra.mahadla-1/te-1/janahab -1/kavi/ esar-125/2019 dt.16/02/2019 anayre maharashtra jama mahadla adhinlyam 1966 che kalam 423b madhal tartudiswar keval vaparatkar kar v bhashel akramichi valkam vasal karanyat aali som tyasale apas jagavar anyojat akrushik vapar kramoyacha asalyas tyasavari sambandak anyojan pradhikarvashi v kar avashyak tyas pradhikarvashi purvapranagi ghene bandhankarak rahit. ( 4692 )  pralambik krefar : nahi.  shetache pherfar kramank 4692 v Date 19/02/2020
June Mutation No. ( 194 ) ( 403 ) ( 579 ) ( 601 ) ( 632 ) ( 702 ) ( 1368 ) ( 2836 ) ( 2833 ) ( 2869 ) ( 2896 ) ( 3616 ) ( 3857 ) ( 4063 ) ( 4085 ) ( 4168 ) ( 4395 ) ( 4424 ) ( 4542 ) ( 4692 )							seema ani bhupaman chihne :

suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakyi athawa kaydeysheer babinsathi vaprata yenar nahi.

## Village namuna bara (gikanchi nondavhi)

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yafil nam 29 ]

Village :- Gokhivre (944016)

Taluka :- Vasai

District :- Palghar

bhupaman kramank v upavibhag : 85/12

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey r chou.me	hey r chou.me			hey r chou.me	
2019-20	sampanat varsh							Pal	8.0250	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakyi athawa kaydeysheer babinsathi vaprata yenar nahi.

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Report Date : 23/08/2023



## Village Form Seven ( Records of Right )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 )



11449135106

Village :- Gokhivre (944016)  
Ulpin :- 11449135106

Taluka :- Vasai

District :- Palghar

bhumapan kramank v upavibhag : 87/1/b

Tenure Type : bhogavatadar varg -1

shetache sthanik nao :

Area, Unit & Assessment	khate kra	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit : chow.me.chau.me.me. Akrushik : Area bin Sheti : 6.18.00 Assessment : 61.88	181	devendra rajalkant ladhani	6.18.00	61.00		( 4689 )	<p>Name of the tenant and Rent</p> <p>Other Rights</p> <p>rukada</p> <p>rukada ( 632 )</p> <p>akrushik vapar</p> <p>ma tahsildar vasai yanchekadil kra.mahsulic-1/te-1/jaminhab</p> <p>-1/kavi-143/2019 dk.16/02/2019 anwaye maharashtra jama deahat</p> <p>adhiniam 1966 che kalam 422b madhil tartudinisar keval rupantaran</p> <p>kar v binsheti akamachi rakdam vasal karanyat nali amn. tyamule</p> <p>apnas jagavar nhyait akrushik vapar krayadha ashyas tyapurvi</p> <p>sambandit niyojan pradhikarnachi v kar avashyak ty pradhikarnachi</p> <p>purvaprasangi ghose bandhankarali rahil. ( 4689 )</p> <p>garambhi fersar : nahi.</p> <p>shevachi pherfar kramank : 4689 v Date : 19/02/2020</p>

Junc Mutation No. ( 322 ) ( 340 ) ( 632 ) ( 8368 ) ( 2805 ) ( 2853 ) ( 2990 ) ( 3026 ) ( 3377 ) ( 3998 ) ( 4029 ) ( 4214 ) ( 4432 ) ( 4542 ) ( 4679 ) ( 4689 )

:seema ani bhumapan chinhe :

suchana : yah sanketasthiavar darshavileli mahiti he konotyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

## Village namuna bara (pikanchi nondavhi)

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yatil niam 29 )

Village :- Gokhivre (944016)

Taluka :- Vasai

District :- Palghar

bhumapan kramank v upavibhag : 87/1/b

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey r chow.me	hey r chow.me			hey r chow.me	
2019-20	sampoorn varsh							Pa4	8.0610	

Note : \* sadrachhi nond mobile ap dvaren ghenet ailei ahe

suchana : yah sanketasthiavar darshavileli mahiti he konotyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

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गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे



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ahwal Date : 15/07/2024

**Village Form Seven ( Records of Right )**

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]

Village :- Gokhvre (944016)  
pu-id : 35461983579

Taluka :- Vasai  
Bhumapari kramank v upavibhag : 87/2/b

**District :- Palghar**



**Tenure Type :** bhogavatadar varg -1

shetache sthanik nao :

Area, Unit & Assessment	khatra	Name of the occupant	Area	Assessment	Uncultivable Mutation number	Tenancy, Rent & Other Rights
Area Unit Her Area Sq.mtrs	9	inas shahu percira			(2833)	Name of the tenant and Rent
a) Lagavad Yongya Area		teraj shahu percira			(2833)	.....
Non-Irrigated 0.07.60		murashchlu shahu percira			(2833)	.....
Irrigated -		Marshall Shahu Percira			(2833)	Other Rights
Total Cultivable 0.07.60		teraj inas pircr			(2833)	star
Area		mary donald ghonsalvis			(3897)	ma. diwani nyaydhish k.sta.vasai yancho nyoyalyst shil stt
b) Uncultivable Area		dipa suresh surve			(3897)	no.913/2012 nesar dawa nyayaprawaksho ( 4155 )
(lagavad yongya)		jijas anton percira			(3897)	.....
Class (A) -		johna michael percira			(3925)	pralamhit berafar : mahi
Class (B) -		Flory Lawrence Lepis			(3925)	.....
Total po kh. 0.08.00		Kajitan Michael Pareira			(3925)	shevtacia pherfar knumank : 5713 v Date : 15/07/2024
Total Area (nrb) 0.07.60		jehanny michael pareira			(3925)	.....
Assessment 1.64		Florrie John Percira			(5713)	
Special Assessment -		vijay john percira			(5713)	
		Asha Viras Ghonsalvis			(5713)	
		diogo john percira			(5713)	
		joanjanina gonsalves	0.07.60	1.64	1	(5713)
		sanika Area	0.07.60	1.64		
For View Only						
Func Mutation No. ( 317 X 702 X 1025 ) ( 1368 X 2833 ) ( 2853 X 3897 X 3925 X 4155 X 4432 X 4542 )						..... and bhupatong chinha :

suchana : yah sanketashtavar darshavileli mahiti he konotyahi shasakriy athawa kaydeysheer babinsathi vaprata yenar nahi.

**Village namuna bara (plkanchi nondavhi)**

[Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yatilwam 29]

**Village :- Gokhivre (944016)**

**Taluka :- Vasai**

**District :- Palghar**

bhumapan kramank v upavibhag : 87/2/b

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					key r chou.ire	key r chou.me			key r chou.me	
2023-24	Kharif	9*						chahu pad	0.0760	

Note : \* sadrachi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakiy atihawa kaydeysheer babinsatli vaprata yekar nahi.

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महाराष्ट्र शासन  
महसूल विभाग

गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे

[home page](#)

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1976 ]

Village :- Gokhivre (944016)  
Upin : 39453619667

Taluka :- Vasal  
bhumapatt kramank v upavibhag : 87/3

**District :- Palghar**



Tenure Type :		bhogavatadar varg -I		shetache shanik nao :	
Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable Mutation number
Area Unit Akrushik Area bin Sheti Assessment	738	Anil Ramchandra Gupta	6.34.00	63.00	( 4692 )
<p style="text-align: center;">भूमिअभिलेख निर्णयात ई महाभूमि</p> <p style="text-align: center;">For View Only</p>					
<p>Tenancy, Rent &amp; Other Rights</p> <p>Name of the tenant and Rent</p> <p>Other Rights</p> <p>( no- ) ( 632 )</p> <p>( ma-tahsiladar vasai ferechakshi challo anayane ferebadal karu )</p> <p>( no- ) ( 632 )</p> <p>( he-nod-penilachi she- ) ( 632 )</p> <p>( no- ) ( 4425 )</p> <p>( ma-niv-it-jogte-jogte vasai yanche kartat rayman-200/2006 masar )</p> <p>( no- ) ( 4425 )</p> <p>shetachik vapar</p> <p>( ma-tahsil dar vasai yanche kadli kar mahadik-1/te-1/jamin bab )</p> <p>-1/last-1 no-125/2019 d.16/02/2019 anwaye mukarashtra jama mahpal )</p> <p>adhiyayam 1966 cha kalam 4226 madhil tarved masar kaval rupan taran )</p> <p>kar v blabeti akarnachi raldam vasai karanyat asli asun tyamelo )</p> <p>apnas jagvar niyoji shetachik vapar karayacha asalyas tyagurvi )</p> <p>zambudlak niyojan pradikrtachi v itar evashyak tya pradikrtachi )</p> <p>purvapevamagi ghone bandhokarak rahil ( 4692 )</p> <p>pralambit farafar : nahi.</p> <p>shetacha pherfar kamunk : 4692 v Date : 19/02/2020</p> <p>seema ani bhumpan chinhe :</p>					

suchana : yah sanketasthitar darshavileli mahiti he konotyahi shasakry athawa krydevsheer babinsathi vaprata venar nahi.

**Village namuna bara (pikanchi nondavhi)**

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 ya'il nıam 29

**Village :- Gokhivre (944016)**

**Taluka :- Vasai**

**District :- Palghar**

bhumapan kramank v upavibhag : 87/3

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata krannank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hect choume	hect choume			hect choume	
2019-20	sampoorn varsh							Pad	0.0638	

**Note :** \* sadrachi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasihlavar darshavileli mahiti he konotyahi shesakiy athawa kaydeysheer babinsathi vaprata venar nahi.

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Report Date : 28/08/2023

**Village Form Seven ( Records of Right )**

1 Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 (from Rule 1971) 1

**Village :- Gokhivre (944016)**

**Taluka :- Vasai**

District :- Palghar

Udin : 19346756716

bhumanan kramam y upavibhag : 87/7



**Tenure Type :** bhogavatadar vare -I

shetache shanik nao :

Tenure Type	Subdivision/Village	Name of the occupant	Area	Assessment/Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit	Kdhuu.mnd.khru.sen.sse.	(4443) [mndal-savind-chhada]			(5148)	Name of the tenant and Rent
Akrushik Area		[manch-mulachand-chhada]	14.90.00	14.90.00	(5148)	
bin Shei	14.90.00	—samika Area—	0.00.00	0		Other Rights
Assessment	149.00					tukada
		2017 may.rashmi sonaya devalpara housing and estate	14.90.00	149.00	(5148)	tukada (632)
		roylatawa prali.				akrushik vapar
						mahsildar vasai yanchekadil kra mahsul/k-1/te-1/jaminbah
						-1/kay-hr-123/2019 di.16/02/2019 sonaya maharashtra jamin mahsul
						adhiniyam 1966 che kaban 422b madhat tarudhusar kara) rupantarana
						kas v bincheit akraalehi rakhsam vasul karanyat sadi som tyaxale
						apnas jagewer nhyole akrushik vapar karoyacha asalyas tyapurdi
						sasphandhi nhyojan pradhitkruchi v fur utvadyak tya pradhitkruchi
						paryavarnangi ghene bandhanikarak rahli. (4693)
						parabambh kerfar : nahi
						shovatscha pherlar krannank : \$148 v Dale : 26/08/2021
Jane Mutation No.	(88)(389)(632)(1368)(1895)(3437)(4432)(4542)(4693)(5067)					Lecoma ani bhrampan chine:

**sūchana :** yah sanketasthlayar darshavileli mahiti he konotyahi shasakiv athawa kaydeysheer babinsathi vaprata venar nahi.

**Village namuna bara (pikauchi nondavhi)**

| Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yatil nam 29

**Village :- Gokhivre (944016)**

**Tajuka :- Vasai**

**District :- Palghar**

bhumapan kramank v upavibhag : 87/7

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey r chou.ac	hey r chou.ac			hey r chou.ac	
2019-20	SAHDOOTI VARDH							Pad	0.1490	

**Note :** \* sadrachi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketashilavar darshavileli mahiti he konotyahi shasakiv achawa kaydevsheer babinsathi vaprata yenar nahi.

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ahwal Date : 30/07/2023

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]



26293775098

Village :- Gokhiyve (944016)  
Upin : 26293775098

Taluka :- Vasai

District :- Palghar

bhumapan kramank v upavibhag : 88/1/b

Tenure Type : bhogavatadar varg -1

shetache shanik nao :

Area, Unit & Assessment	khat kra.	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit : ncheu.mec.dheo.sen.mec.	[ 4444 ]	[ ncheu.senind-shheeda ]				[ ( 5148 ) ]	Name of the tenant and Rent
Akrushik Area		[ manchamolechand-shheeda ]	9.26.00	446	0.00.00	[ ( 5148 ) ]	
bin Shet	26.30.00	—samiko Aram—	0.00.00	0			
Assessment	263.00						Other Rights
	2017	may:mohani ameya devalparsi housing and estate ryistatara para.li	26.30.00	263.00		[ ( 5520 ) ]	akrushik vapar ma.tahsildar vasai yanchakuldi kon kra.mahoul/le-1/te-1/jamab -1/kavi/-sr-123/2019 di.16/02/2019 sawaye maharashtra jambo mahoul adhiniam 1966 che kalam 4226 madhli tartedinsur keval vapantaram kar v binsheti akamichi rakam vasai karanyat mali avar tyawale apnas jagavar niyojit akrushik vapar kraayacha asalyas tyapuvri sambandhit niyojan pradhiunachi v kar avashyak tyo pradhiunachi purvapranagi ghene bandhankarak rabli. ( 5520 )
							pralambit kerafar : naki.
							shetacha pherfur kramank : 5520 v Date : 30/07/2023

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June Mutation No. : ( 1044 ) ( 1368 ) ( 1687 ) ( 2377 ) ( 2853 ) ( 3307 ) ( 3436 ) ( 3437 ) ( 4432 ) ( 4542 ) ( 4693 ) ( 5067 ) ( 5148 ) ( 5520 )

,seema ani bhumapan chinhe :

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

## Village namuna bara (pikanchi noodavhi)

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yatil nizam 29 ]

Village :- Gokhiyve (944016)

Taluka :- Vasai

District :- Palghar

bhumapan kramank v upavibhag : 88/1/b

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khat kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey r choa.me	hey r choa.me			hey r choa.me	
2021-22	sampanna varsh	2017						petikrapab	0.0050	
		2017						garvai pad	0.2580	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

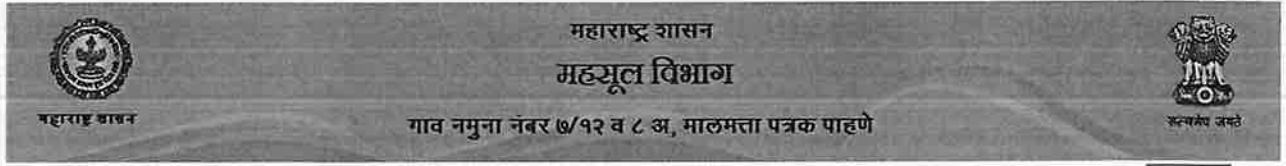
suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

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ahwal Date : 30/07/2023

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]

Village :- Gokhivre (944016)  
Upin :- 13574201173Taluka :- Vasai  
Bhumapan kramank v upavibhag :- 88/2/b

District :- Palghar

Tenure Type :- bhogavatadar varg -1		shetache sthanik no :-					
Area, Unit & Assessment	khate kra	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit Akrushik Area In Shet Assessment	668	Vasai West shahar mahanagerpalika	8.53.00	85.00		(5520)	Name of the tenant and Rent
	[ 3848 ]	[ nakhad-ambad-ehhada ]	0.33.00	3.49	0.01.30	(5148)	Other Rights
		[ manoh-mulachand-ehhada ]	0.00.00	0		(5148)	akrubhik vapor
		— sabhik Area —					ma.tahsildar vasai yanchekadil kra kra.mahsul/le-1/te-1/jaminhab
	2017	may.rashtri ananya devalpura housing and estate	26.67.00	267.00		(5520)	-Uhas/-sr-123/2019 di.16/02/2019 ananya maharashtra jamin mahsul
		citylatara pra.H.					adhiniam 1966 che kalam 422b madhil tartudinuar keval rupantaran
							kar v binsheti akarmichi raddam vasul karanyat aali asun tyamule
							apnas jagdevar niyojiti akruhik vapor kraoyacha axalyas tyapurvi
							sarhamadit niyojan pradhikarnachi v itar avashyak ty pradhikarnachi
							purvapranagi ghene bandhankarak raitil ( 5520 )
							pralambik ferasar : nahi.
							shetachak ghafar kramank 5520 v Date : 30/07/2023
Name Mutation No. ( 1844 X 1368 ) ( 1687 X 2377 X 2853 ) ( 3307 X 3436 X 4432 X 4542 ) ( 5067 X 5148 ) ( 5468 ) ( 5520 )							seema ani bhumapan chinhe :

suchana : yah sanketashavar darshavileli mahiti he konotyahi shasakiy athawa kaydeysheer babinsathi vaprata yemar nahi.

## Village namuna bara (pikanchi nondavhi)

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yatil nam 29 ]

Village :- Gokhivre (944016)

Taluka :- Vasai

District :- Palghar

88/2/b

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					a.	b.			c.	
					chou.me	chou.me			chou.me	
2021-22	sanjoseen varsh	2017						potkharab	0.0130	
		2017						gavat pad	0.3390	

Note : \* sadraahi nond mobile ap dharen ghanet alchi ahe


suchana : yah sanketashavar darshavileli mahiti he konotyahi shasakiy athawa kaydeysheer babinsathi vaprata yemar nahi.

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सत्यमेव जयते

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Report Date : 08/04/2024

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]



29355820349

Village :- Gokhivre (944016)  
pu-id : 29355820349

Taluka :- Vasal  
bhupaman kramank v upavibhag : 38/4

District :- Palghar

Tenure Type : bhogavatadar varg -1

shetache shanik nao :

Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit Hic Area Sq.mtr	66	ongastom girgol fargose				( 2645 )	Name of the tenant and Rent
a) Ligavad Yogyo Area		francis girgol fargose				( 2645 )	.....
Non-Irrigated 0.06.30		vinson girgol fargose				( 2645 )	Other Rights
Irrigated -		albert girgol fargose				( 2645 )	rukada
Total Cultivable 0.06.30		demanik girgol fargose				( 2645 )	rukada ( 632 )
Area		olvin girgol fargose				( 2645 )	.....
b) Uncultivable Area		ijabel pascal pinto				( 2645 )	pralambit fersafar : nakt
(lagavad ayogyo)		nati harmuda demelo				( 2645 )	.....
Class (A) -		dr. manika albert almeida				( 2645 )	shetacha pherfar kramank 55.34 v Date : 08/09/2013
Class (B) -		Corporation Rafael Ghonsalvis				( 2645 )	.....
Total po kh. 0.00.00		Lord John Pereira				( 5169 )	
Total Area (a+b) 0.06.30		lontazen john pereira				( 5169 )	
Assessment 0.09		manika oday lopis				( 5169 )	
Special Assessment -		husbanjohn-pereira				( 5169 )	
		-----samike Area-----	0.03.15	0.45			
	1781	veletacen francis colaso				( 2663 )	
		santan dr. manik colaso				( 2663 )	
		Stella Francis Colaso				( 2663 )	
		Donyal Francis Colaso				( 2663 )	
		Ignethiya dr. manik colaso				( 2663 )	
		Arddy francis colaso				( 2663 )	
		magdalena aleka daabned				( 2663 )	
		marika michael faros				( 2663 )	
		marika johnny lopis				( 2663 )	
		rocky dr. manik colaso				( 2663 )	
		khristan and francis colaso				( 2663 )	
		(francine-sanjayav-lopis				( 4702 )	
		Martin Sanjayav Lopis				( 4702 )	
		melvin sanjayav lopis				( 4702 )	
		fatherna lejali lopis				( 4702 )	
		Gloria Josef Almeida				( 4702 )	
		gretia sanjayav lopis				( 4702 )	
		(ijabel-sidney-dipona				( 5534 )	
		anahli sidney dipona				( 5534 )	
		culip leonard fernandes				( 5534 )	
		vibole sidney dipona				( 5534 )	
		vanessa delberta demelo				( 5534 )	
		-----samike Area-----	0.03.15	0.44			
June Mutation No	( 387 ) ( 632 ) ( 648 ) ( 1358 ) ( 1368 ) ( 1912 ) ( 2645 ) ( 2663 ) ( 4452 ) ( 4542 ) ( 4722 )						.....votema ani bhupaman chinhe

suchana : yah sanketasthitar darshavileli mahiti he konotyahi shasakyi athawa kaydeysheer babinsathi vaprata yenar nahi.

## Village namuna bara (pikanchi nondavhi)

[ Maharashtra Land Records Revenue Records of Right and Rights (Book Keeping) Rule 1971 until clause 29 ]

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

bhumapan kramank v upavibhag : 88/4

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey.e chou.me	hey.e chou.me			hey.e chou.me	
2023-24	kharif	1781*						zavat pad	0.0315	
		66*						zavat pad	0.0315	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe


suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakry athawa kaydeysheer babinsathi vaprata yenar nahi.

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जमाबंदी आयुक्त आणि संचालक भूमि अभिलेख कार्यालय  
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ahwal Date : 28/08/2022

## Village Form Seven ( Records of Right )

( Maharashtra Land Records Revenue Records of Right and Registers (Bank Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 )

Village :- Gokhvre (944016)  
Upin : 20306623580

Taluka :- Vasai  
bhutapan kramank v upavibhag : 88/5

District :- Palghar



20306623580

Tenure Type : bhogavatadar varg - I

shetache sthanik nao :

Area, Unit & Assessment	khate kra	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit Hiz.Area Sq.mtrs	649	Lord John Pereira				( 4154 )	Name of the tenant and Rent
a) Lagavad Yogya Area		Khatarn John Pereira				( 4154 )	
Non-irrigated 0.86.10		—samile Area—	0.8122	0.83	0.0030		Other Rights
Irrigated -							nikada
Total Cultivable 0.86.10	( 865 )	[present-hatarn-pereira]	0.83.44	0.84	0.0060	( 4660 )	nikada ( 632 )
Area		[demi-luar-lupis]	0.03.44	0.04	0.0060	( 4660 )	[see-] ( 4425 )
b) Uncultivable Area		[rebeten-joseph-pereira]				( 4660 )	[see-sivil-jajja-] ( 4 )-vatal-yanche-korlat-roy-moon-300/3006-nasser
(lagavad ayogya)		[bilal-pasol-pereira]				( 4660 )	datta-ayayapavabhu-] ( 4425 )
Class (A) 0.01.50		[manio-pasol-pereira]				( 4660 )	[see-] ( 4660 )
Class (B) -		[joseph-pasol-pereira]				( 4660 )	[bhan-donar-yanche-bhatal-] ( 8505, 8507, 8511 )-yab-tin-an
Total po kh. 0.91.50		[petio-valter-ghemalvis]				( 4660 )	mirhun-Area-0.0450-hy-e-Area-shri-hatarn-zan-pereira-yanna-bis
Total Area (a+b) 0.87.60		—samile Area—	0	0			taha-sathe-bhatarn-dile-see-] ( 4660 )
Assessment 0.11							
Special Assessment -							
	1153	Khatarn John Pereira	0.86.66	0.87	0.00.90	( 4660 )	prabhatit farafar : mahl.
	1816	Sebastien Josef Pereira	0.01.22	0.02	0.00.30	( 4660 )	shovacha pharfar kramank 5281 v Date : 11/05/2022
June Mutation No. ( 90 ) ( 403 ) ( 408 ) ( 632 ) ( 1300 ) ( 1430 ) ( 2256 ) ( 3616 ) ( 3826 ) ( 3936 ) ( 4845 ) ( 4129 ) ( 4154 ) ( 4168 ) ( 4294 ) ( 4134 ) ( 4542 ) ( 5281 )							seema ani bhutapan khatarn

suchana : yah sanketasthavar darshavileli mahiti he konoryahi shasakiiy athawa kaydeysheer babinsathi vaprata yenar nahi.



## Village namuna bara (pikanchi nondavhi)

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yafli nam 29 ]

Village :- Gokhivre (944016)

Taluka :- Vasal

District :- Palghar

bhumapan kramank v upavibhag : 88/5

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					६ chou.me	६ chou.me			६ chou.me	
2021-22	sampanam varsh	sarwa khate						potkharab	0.0150	
		sarwa khate						gavat pad	0.0610	
2022-23	kharip	649*						gavat pad	0.0122	
		1153*						charai pad	0.0366	
		1816*						gavat pad	0.0122	
2023-24	kharip	1153*						gavat pad	0.0366	
		649*						gavat pad	0.0122	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi

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महसूल विभाग

गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे



MAHA Bhule
home page



Report Date : 28/08/2023

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]




14200560346

Village :- Gokhivre (944016)  
Upin : 14200560346

Taluka :- Vasai  
bhumapan kramank v upavibhag : 89/1

District :- Palghar

Tenure Type : bhogavatadar varg-1		shetache sthanik nao :				Mutation number	Tenancy, Rent & Other Rights
Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable		
Area Unit : choti, ase choti, sek, me.	181	devendra rajnikant ladkani	25.90.00	359.00		( 4691 )	Name of the tenant and Rent
Akruahik Area							
bn Sheti 35.90.00	[ 389 ]	[ manvel-pareel-hules				( 5408 )	Other Rights
Assessment 359.00	1941	may.sai ridam riyatara pra.li.	10.00.00	100.00		( 5409 )	akruahik vapar
							ma.tahsildar vasai yandekta 08 kra.mahabuli-1/so-1/jaminiab
							-1/kavi-12/16/2019 dt.16/02/2019 anveye maharashtra jamni mahabul
							adhiniyam 1966 che kalam 422b madhli cartudinasar keval rupantaras
							kar v binsheti akarnichi raldam vasul karayant nali asan tyamake
							apnas jagavar nityeji akruahik vapar kraoyadha nasyas tyapurvi
							maubandhi tyojan pradhmamachi v kar vadyak ty pradhmamachi
							purvaprasangi ghose bandhankarak rahli. ( 4691 )
							pralambit farfar : nahi.
							shetacha pherfir kramank: 5408 v Date : 25/03/2023
							seema ani bhumapan chunhe :

suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakyi athawa kaydeysheer babinsathi vaprata yenar nahi.

## Village namuna bara (pikanchi nondavhi)

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yafli nam 29 ]

Village :- Gokhivre (944016)

Taluka :- Vasai

District :- Palghar

bhumapan kramank v upavibhag : 89/1

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					bey r ches.rw	bey r ches.rw			bey r ches.rw	
28/5-28	sampurnan varak							Kharaba	0.0250	
								Pad	0.3340	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konotyahi shasakyi athawa kaydeysheer babinsathi vaprata yenar nahi.

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ahwal Date : 12/07/2023

Village Form Seven ( Records of Right )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 )

Village :- gokhivre ( 944016 )  
ulpin : 21450127248

Taluka :- vasai  
bhumapan kramank v upavibhag : 271

District :- palghar



21450127248

Tenure Type : bhogavatadar varg -1

shetache sthanik nao :

Area, Unit & Assessment	khate kra	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit : x dhaa mc dhaa sra ma akrushiak Area bin sheti 247.80.00 Assessment 2478.00	( 144 )	[ jayantilal-shamji-ghbede [ served-shamji-ghbede saurile Area	0.00.00	0		( 5145 ) ( 5145 )	Name of the tenant and Rent Other Rights akrushiak vapor
	668	vasai vitar shahar mahana garpalika	14.98.66	49.87		( 5501 )	ma.tahallidar vasai yanchekadli kra.mahsul/te-1/te-1/jaminhab
	2017	may.rashmi ameya devalparia housing aadit estate rylataraa prak.	252.91.34	2528.13		( 5501 )	harvi-te-129/2019 di.16/02/2019 anwaye maharashtra jamin mahsul adhiyam 1966 che kalam 422b madhil tartudinaxar keval rupanazam kar v binsheti akarnichi raddam vasul karanyat nali asun tyamule apnas jagevar niyojit akrushiak vapor kraayacha asalyas tyapurvi sambandhit niyajan pradhiikraachi v kar anayachi tyo pradhiikraachi purvapranaghi ghome bundhanikarak pahil ( 4687 ) praharbit feratkar : nahl shetachia pherfar kramank : 5501 v Date : 11/07/2023

For View Only

jane Mutation No ( 188 ) ( 513 ) ( 571 ) ( 872 ) ( 1183 ) ( 1348 ) ( 2054 ) ( 2221 ) ( 4545 ) ( 4657 ) ( 5065 ) ( 5145 ) ( 5169 )

seema ani bhumapan chinhe :

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

Village namuna bara ( pikanchi nondavhi )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yatil niam 29 )

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

bhumapan kramank v upavibhag : 271

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey.e cheou.mc	hey.e cheou.mc			hey.e cheou.mc	
2019-20	saampeetee varahi							kharaaba	0.2028	
								pad	2.4760	

Note : \* sadrachi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

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Report Date : 16/11/2023



## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]



29774193131

Village :- Gokhivre (944016)  
Utpin : 29774193131Taluka :- Vasai  
Bhumapam kramank v upavibhag : 272

District :- Palghar

Tenure Type :		bhogavatadar varg -1		shetache shanik nao :			
Area, Unit & Assessment		khate kra.	Name of the occupant	Area	Assessment Uncultivable Mutation number	Tenancy, Rent & Other Rights	
Area Unit	chowdhedev sen. enc.	[ 469 ]	[ amarchand-ranji-gale ]		[ 5147 ]	Name of the tenant and Rent	
Akrushik Area			[ dongrasi-ranji-gale ]		[ 5147 ]	.....	
bin Sheti	287.10.00		[ bipen-amarchand-gale ]		[ 5147 ]	Other Rights	
Assessment	2871.00		[ anil-dongrasi-gale ]		[ 5147 ]	car	
			[ bhaynand-dongrasi-gale ]		[ 5147 ]	navikhar ( 3979 )	
			-----samile Area-----	0.00.00	0	.....	
		2017	may.rahmi usayn devalparia housing sand sotate	287.10.00	2071.00	[ 5147 ]	pralambit sarakar : nahi
			viylatoru prak.				.....
							shetacha pherfor kramank : 5147 v Date : 15/09/2021
							.....
June Mutation No. [ 188 X 513 ] [ 1076 ] [ 1368 X 2041 X 3978 ] [ 4431 X 4545 ] [ 4773 X 5033 ]						seema ani bhumapam chinhe :	

suchana : yah sanketasthavar darshavileli mahiti he konoyahi shasakyi athawa kaydeysheer babinsathi vaprata yenar nahi.

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## Village nuzuna bara (pikanchi nondavhi)

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yash alam 29 ]

Village :- Gokhivre (944016)

Taluka :- Vasai

District :- Palghar

Bhumapam kramank v upavibhag : 272

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey r chow.me	hey r chow.me			hey r chow.me	
2019-20	amgporan varsh							blakheti	287.10.00	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konoyahi shasakyi athawa kaydeysheer babinsathi vaprata yenar nahi.

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गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे



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ahwal Date : 25/08/2022

**Village Form Seven ( Records of Right )**

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]

Village :- gokhivre ( 944016 )  
ulpin : 29684688068

**Taluka :- vasai**

District :- palghar

bhumapan kramank v upavibhag : 273



**Tenure Type :** bhogavatadar varg -1

shetache shanik nao :

Area, Unit & Assessment	khate kra	Name of the occupant	Area	Assessment	Uncultivable number	Tenancy, Rent & Other Rights
Area Unit akrushik bin sheli Assessment	[ 1449 ] 275.28.00 2752.88	[ mulchand-shamji-chhedra [ kishore-shamji-chhedra [ jayantilal-shamji-chhedra [ sarvendra-shamji-chhedra [ mahendra-gangji-chhedra [ piyush-gangji-chhedra [ samika Area ]	275.28.00 2752.88	2752.88	( 5149 ) ( 5149 ) ( 5149 ) ( 5149 ) ( 5149 ) ( 5149 ) ( 5149 )	Name of the tenant and Rent ..... Other Rights akrushik vapar max.sahakar vasal yamuchkadil kor.mahilale-1/te-1/jamunab Aarv-kr-648/2019 d1/29/11/2019 aravey maharashtra jansh Dahanol adhiyayam 1966 che kalam 422b mudhili taradilmasar koval nipantaran kar v binsheti akarnachi rakkan varul karanyat nali asan tyamuk spnas jagdevar niyojit akushik vapar kranyacha anayay tyapuri sanbandhit niyojan prashikarnachi v kar avashyak ty prashikarnachi purvapratangi ghente bandhanakarnak rakil ( 4863 )  pralambit darar : nali.  shetecha pherlar kramak : 5149 v Date : 26/08/2021 .....
2017	may.rashmi ameya devalparia housing sand estate rystataras pra li		275.28.00	2752.88	( 5149 )	

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suchana : yah sanketasthavar darshavileli mahiti he konaryahi shasakiy athawa kaydeysheer bahinsathi vaprata yenar nahi.

**Village namuna bara ( pikanchi nondavhi )**

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 यासि (अम 29 )

Village :- gokhivre ( 944016 )

Taluka :- vnsai

District :- palghar

273

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	khata kramank:	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	
					r. chao.me	r. choo.me			r. choo.me	
2019-20	sampoorn varsh							kharab	0.2020	
								xsd	2.5500	

Note : \* sadrachhi nond mobile ap dvaren gbenat noli dta

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

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गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे

ra Bhumi Abhilekh) - a land record website of Maharashtra state (India) that provides 7/12 extract, 8A extract

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ahwal Date : 17/08/2023

**Village Form Seven ( Records of Right )**

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]

Village :- gokhivre ( 944016 )  
ulpin : 32295052960

**Taluka :- vasai**

**District :- palghar**



Tenure Type : bhogavatadar varg -1

shetache sthanik nao

Area, Unit & Assessment	Khate kra	Name of the occupant	Area	Assessment	Uncultivable Mutation number	Tenancy, Rent & Other Rights
Area Unit achan.mechan.sen.gre akrushik Area bin sheti 183.88.00 Assessment 1838.88	488-	{ moolachandee-shyamjee-chhedo mahendee-gangji-chhedo piyush-gangji-chhedo —tamilie Area—	0.00.00	0	{ (5143) { (5143) { (5143)	Name of the tenant and Rent   Other Rights akrushik vapor
	668	vasal virar shahar mahana garpalika	56.51.52	565.15	(5467)	ma.tahsil dar vasal yanchekadil kra.mahaulik-1/te-1/jaminbab /kay-tesar-129/2019 dL16/02/2019 mavaye maharashtra jamin mahul sabhyam 1966 che kalam 4226 madhi tarvedhewar laval rapantara kar v binsheti akushik ralkam vasal karanyet nali asua tyamala apna jagavare mityeti akushik vapor krauyache aanyas tyapurvi manbharhit mityetan pradikunachi v star avashyak tya pradikunachi parvaprasangi ghene bandhankarak rahil. (4687)
	2017	may.rashmi ananya devalparna housing and estate rhyolaisra pra.li	127.28.48	1272.85	(5467)	peralambit tesarar : wahi.  shyotiacha phurkar kramank : 5467 v Date : 09/07/2023

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June Mutation No. (513) (872) (1046) (1833) (1369) (2222) (2739) (2855) (4433) (4545) (4687) (5068) (5143)

seema ani bhumiapan chunhe :

**suchana :** yah sanketasthlayar darshavileli mahiti he konatyahi shasakiy athawa kaydeysheer babinsathi vaprata yenzar nahi.

**Village namuna bara ( pikanchi nondavhi )**

(Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 यादव नम 29)

Village :- gokhivre ( 944016 )

**Taluka :- vasai**

**District :- palghar**

bhumapan kramank v upavibhag : 274/1

[illegible]

**Note :** \* sadrachi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konaryahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

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सूचना : या संकेतार/कावर दक्षितेलेली माहिती ही कोणत्याही शासकीय अथवा कायदेशीर बाबींसाठी वापरता येणार नाही.

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Report Date : 17/08/2023

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]



38397045623

Village :- Gokhivre (944016)  
Upin :- 38397045623

Taluka :- Vasai

District :- Palghar

bhumapan kramank v upavibhag : 274/2

Tenure Type : bhogavatadar varg -1

shetache sthanik nao :

Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit : rchoa.me.chag.sen.me.	660	vasai vitar shahar mukhanagarpalika	21.50.14	215.01		(5502)	Name of the tenant and Rent
Akrushik Area						(5102)	
ben Sheti	116.80.00	[ 3096 ] [kushor-ahyamer-chheda				(5102)	Other Rights
Assessment	1168.00	2017 may.rashtri aneysa devalpara housing and estate	95.29.86	952.99		(5502)	pralambit beraar : nahi.
		rylatase pra.it					shetvacha pherfar kramank : 5902 v Date : 11/07/2023
June Mutation No. ( 498 ) ( 1360 ) ( 2860 ) ( 2853 ) ( 3978 ) ( 4433 ) ( 4545 ) ( 4776 ) ( 5064 ) ( 5142 ) ( 5470 )							zeema ani bhumapan chine :

suchana : yah sanketasthiavar darshavileli mahiti he konotyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

For View Only

Village namuna bara (pikanchi nondavhi)

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule (1971 yodhi nam 29 )

Village :- Gokhivre (944016)

Taluka :- Vasai

District :- Palghar

bhumapan kramank v upavibhag : 274/2

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey r chon.me	hey r chon.me			hey r chon.me	
2019-20	asampoorn varsh							bhavchoti	11.6800	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthiavar darshavileli mahiti he konotyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

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दूरध्वनी : ०२०-२६०५०००६, ई-मेल : dirmah@doj.mah[at]nic[dot]in

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महाराष्ट्र शासन  
महसूल विभाग

गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे



सत्यमेव जयते

MAHA Bhulekh (i.e. Maharashtra Bhumi Abhilekh) - a li

मुख्यपृष्ठ



ahwal Date : 08/07/2023

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]



19201387129

Village :- gokhivre ( 944016 )  
ulpin : 19201387129

Taluka :- vasai

District :- palghar

bhumapan kramank v upavibhag : 274/3

Tenure Type : bhogavatadar varg - I		shetache shanik nao :			
Area, Unit & Assessment	khate kra	Name of the occupant	Area	Assessment Uncultivable	Mutation number
Area Unit : rechom.ma.choua.sen.me.	[ 74 ]	[ mulachand-shyamjee-chheda ]			( 5144 )
akrubak Area		[ bishar-shyamjee-chheda ]			( 5144 )
bin sheli 71.80.00		[ mahendra-gangji-chheda ]			( 5144 )
Assessment 718.00		[ piyush-gangji-chheda ]			( 5144 )
		----- samik Area -----	0.00.00		
	668	vasai view shahar maharajapalika	33.31.45	353.15	( 5466 )
	2017	may.rashmi ameya devalparia hoting aash estate	36.48.55	364.86	( 5466 )
		riylafaria pra.li.			
June Mutation No. ( 786 ) ( 1368 ) ( 2156 ) ( 2739 ) ( 2853 ) ( 3978 ) ( 4433 ) ( 4545 ) ( 5069 ) ( 5144 )					
seema ani bhumapan chinhe :					

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

For View Only

Village namuna bara ( pikanchi nondavhi )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yadli nizam 29 ]

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

bhumapan kramank v upavibhag : 274/3

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					bey.a chaa.me	bey.a chaa.me			bey.a chaa.me	
2019-20	samgama varsh							binahet	71.8000	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakiy athawa kaydeysheer babinsathi vaprata yenar nahi.

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महाराष्ट्र शासन  
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गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे



MAHA Bhulekh (
मुख्यपृष्ठ

ahwal Date : 07/03/2024



## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 2, 5, 6 and 7 from Rule 1971 ]

Village :- gokhivre ( 944016 )  
pu-id : 36631686448

bhumapan kramank v upavibhag : 275/1

Taluka :- vasai

District :- palghar



36631686448

Tenure Type : bhogavatadar varg -I		shetache sthanik nao :				Tenancy, Rent & Other Rights
Area, Unit & Assessment	khate kra	Name of the occupant	Area	Assessment	Uncultivable Mutation number	
Area Unit : r.chou.ma.chou.san.me. akrashek Area 132.08.00 Assessment 1320.00	( 843 )	( 843 )			( 5141 )	Name of the tenant and Rent
	668	vansi vinar shikhar maharajpalika	9.66.69	6.67	( 5589 )	Other Rights
	2917	sway.rasankar ananya devajpatra housing sand estate rytatara prali	131.33.31	1312.33	( 5583 )	prahubhi ferasar : nahi
						shetvacha pharfar kramank : 5589 v Date : 01/07/2023
Joint Mutation No. ( 188 ) ( 513 ) ( 872 ) ( 1079 ) ( 1144 ) ( 1199 ) ( 1368 ) ( 2064 ) ( 2853 ) ( 2899 ) ( 3074 ) ( 3978 ) ( 4433 ) ( 4546 ) ( 5007 ) ( 5141 ) ( 5477 )						scemo ani bhumapan chisho

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakyi ahdawa kaydcysheer babinsathi vaprata yonar nahi

Village namuna bara ( pikanchi nondavhi )  
[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yati alam 29 ]  
Taluka :- vasai

Village :- gokhivre ( 944016 )

District :- palghar

bhumapan kramank v upavibhag : 275/1

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hoy.n chou.me	hoy.n chou.me			hoy.n chou.me	
2810-28	asmpoora vardi							blakati	132.0800	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe


suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakyi ahdawa kaydcysheer babinsathi vaprata yonar nahi

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महाराष्ट्र शासन  
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गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे



MAHA Bh

मुख्यपृष्ठ



ahwal Date : 25/08/2022

## Village Form Seven ( Records of Right )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 )

Village :- gokhivre ( 944016 )  
ulpin : 36721111523Taluka :- vasai  
bhupatan kramank v upavibhag : 275/2

District :- palghar



Tenure Type :- bhogavatadar varg -I		shetache shhanik nao :				Mutation number	Tenancy, Rent & Other Rights
Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable		
Area Unit abradak bin shu Assessment	rdhon me Area 64.78.00 647.00	[ 94- ] [ maulchand-shyamjee-shinde [ Mahesh-shyamjee-shinde [ mahesh-shyamjee-shinde [ piyush-shyamjee-shinde ----- ----- -----				( 5144 ) ( 5144 ) ( 5144 ) ( 5144 )	Name of the tenant and Rent ..... Other Rights ..... prahambit ferar : nahi. shetachy pherfar kramank : 5144 v Date : 25/08/2022
		2017 mag.raohed amey devalpara housing samiti ryltatna prali.	64.78.00	647.00		( 5144 )	..... .....
Joint Mutation No. ( 706 X 1368 X 2156 X 2799 X 2853 X 3078 X 4433 X 4545 X 5069 )							.....

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakyi athawa kaydeysher babinsathi vaprata yentar nahi.

## For View Only

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yati nam 29 )

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					र.	र.			र.	
					chou.me	chou.me			chou.me	
2015-20	saathjovach varsh							Mahesh	64.7088	

Note : \* sadmahi nandi mobile ap divach ghurat ekeli ahe

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakyi athawa kaydeysher babinsathi vaprata yentar nahi.

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महाराष्ट्र शासन  
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गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे

MAHA Bhulekh (i.e. Maharashtra Bhumi Abhilekh) - a land ri



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ahwal Date : 25/08/2022

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]

Village :- gokhivire ( 944016 )  
ulpin : 32445156934

Taluka :- vasai

District :- palghar

bhumapan kramank v upavibhag : 276/2



32445156934

Tenure Type :- bhogavatadar varg - I		shetache shanik nao :				Mutation number	Tenancy, Rent & Other Rights
Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable		
Area Unit : akmare	1430-1	( amardhand-vomji-gala			1	( 5147 )	Name of the tenant and Rent
akrushik	Area	[ dangevashdhand-gala			1	( 5147 )	.....
bin sheti	27.88.00	[ bapet-vamardhand-gala			1	( 5147 )	Other Rights
Assessment	278.88	[ nadi-dhangarabhi-gala			1	( 5147 )	tar
		[ gaurav-dhangarabhi-gala			1	( 5147 )	District/Chikari chane yanche kadi ( 2405 )
		-----khatke Area-----	0				Chikri parvangeedi sharda patra ( 2405 )
	2017	mayasabhi soniya devalpura khandag and estate	27.88.00	278.00		( 5147 )	.....
		rykhatara pra.H.					pralambti ferafar : nahi.
							shetacha pharfar kramank : 5147 v Data : 26/08/2021
							.....
June Mutation No ( 1282 X 1360 X 880 X 2405 X 2853 X 3978 X 4433 X 4545 X 3093 )							.....ani bhumapan chikhe.

suchana : yah sanketasthavar darshavleli mahiti he konatyahi shasakiy adhawa kaydeysheer babinsathi vaprata yonar nahi.

For View Only

## Village namuna bara ( pikanchi nondavahi )

[ Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yaal nism 19 ]

Village :- gokhivire ( 944016 )

Taluka :- vasai

District :- palghar

bhumapan kramank v upavibhag : 276/2

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					E.	F.			E.	
					chose.mre	chose.mre			chose.mre	
2017-18	zampooren varah							blashed	27.8800	
2018-19	zampooren varah							blashed	27.8800	
2019-20	zampooren varah							blashed	27.8800	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavleli mahiti he konatyahi shasakiy adhawa kaydeysheer babinsathi vaprata yonar nahi.

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यामावधी अपडेट आणि संशोधनार्थी अधिकृत कर्मचारी  
महाराष्ट्र शासन, नवीन प्रशासकीय इमारत, कोलार रोड, मुंबई.  
दूरध्वनी : ०२२-२६५०००१, ई-मेल : dmah(dot)mah(dot)gov(dot)in

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महाराष्ट्र शासन  
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MAHA Bhulakh (i.e. Maharashtra)

मुख्यपृष्ठ



ahwal Date : 07/07/2023

## Village Form Seven ( Records of Right )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 )

Village :- gokhivre ( 944016 )  
ulpin : 13404923805

Taluka :- vasai

District :- palghar

bhumapan kramank v upavibhag : 277/2



13404923805

Tenure Type : bhogavatadar varg - I		shotache shanik nao :				Mutation number	Tenancy, Rent & Other Rights
Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable		
Area Unit akushek bin sheti Assessment	razhous, sa, dhow, sa, sa, sa Area 97.60.00 976.00	1825 may. sai ridam riyatara pra. li. sarfe dharshor devendra rajkikant (adhar)	97.60.00	976.00	( 4483 )		<p>Name of the tenant and Rent</p> <p>Other Rights</p> <p>akushek vapar - chavus (Vilgatharabharil)</p> <p>15 % r p. 4999.81 chausak ( 4379 )</p> <p>5 % r p. 1666.60 chausak ( 4379 )</p> <p>ekjiding road - 614.45 chausak ( 4379 )</p> <p>h r riyatara - 828.92 chausak ( 4379 )</p> <p>m sand m r riyatara - 1844.77 chausak ( 4379 )</p> <p>1 dshlo - r riyatara - 18913.82 chausak ( 4379 )</p> <p>g riyatara - 2163.60 chausak ( 4379 )</p> <p>d f e 11371.93 chausak ( 4379 )</p> <p>d p r 15465.56 chausak ( 4379 )</p> <p>nala riyatara - 4086.97 chausak ( 4379 )</p> <p>p g riyatara - 4209.94 chausak ( 4379 )</p> <p>pralambit ferdar : nahi.</p> <p>chavacha phorir kramank : 4810 v Date : 19/02/2020</p>
June Mutation No. ( 1259 X 1368 X 1519 X 2128 X 2615 X 2853 X 2865 X 2872 X 3123 X 4379 X 4483 X 4466 X 4545 X 4774 X 4820 )						seema ani bhumapan chike :	

suchana : yah sanketasthavar darshavileli mahiti he konayahi shasakyi athawa kaydeyshoor babinsathi vaprata yenar nahi.

## Village mamuna bara ( pikanchi mondarvi )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 ynd chaw 29 )

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

bhumapan kramank v upavibhag : 277/2

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					hey.r.	hey.r.			hey.r.	
					chou.me	chou.me			chou.me	
2015-20	rainy season							binadhi	97.6000	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konayahi shasakyi athawa kaydeyshoor babinsathi vaprata yenar nahi.

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दूरध्वनि : ०२०-२६२५०००५, ई-मेल : dirmah@dirmah.gov.in  
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MAHA Bhulekh (i.e. Maharashtra Bhumi Abhilekh) - a la

मुद्रापत्र



ahwal Date : 07/07/2023

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Right and Regulations (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 ]



33095323002

Village :- gokhivire ( 944016 )  
ulpin : 33095323002

Taluka :- vasai

District :- palghar

bhumapan kramank v upavibhag : 277/3

Tenure Type : bhogavatadar varg - I		sketache shanik nao :				Mutation number	Tenancy, Rent & Other Rights
Area, Unit & Assessment	khata kra.	Name of the occupant	Area	Assessment	Uncultivable		
Area Unit : chakurme.chakurme sketachik : Area bun sheta : 46.68.00 Assessment : 466.00	1525	mr. sai ridam riyalvaras pra. H narve dakekar devendra rajulant Isdkeni	46.68.00	466.00		( 4483 )	<p>Name of the tenant and Rent</p> <p>Other Rights</p> <p>sketachik vaper - rakhiva (Vilagethanabehani)</p> <p>15% r g 499-81 chakurme. ( 4379 )</p> <p>5% kafal 1666-40 chakurme. ( 4379 )</p> <p>chikling road 614-45 chakurme. ( 4379 )</p> <p>ra r rjavarshan 838-92 chakurme. ( 4379 )</p> <p>ra nand m r rjavarshan 1844-77 chakurme. ( 4379 )</p> <p>l dakhya c rjavarshan 28912-82 chakurme. ( 4379 )</p> <p>g rjavarshan 3163-88 chakurme. ( 4379 )</p> <p>afce 11371-93 chakurme. ( 4379 )</p> <p>alga road 15465-56 chakurme. ( 4379 )</p> <p>salu rjavarshan 8086-49 chakurme. ( 4379 )</p> <p>paj rjavarshan 8209-94 chakurme. ( 4379 )</p> <p>prabombit ferfer : nabi.</p> <p>sketache pherfar kramank : 4466 v Date : 23/07/2017</p>
<p>For View Only</p>							
<p>Give Mutation No. : ( 513 X 684 X 871 X 872 X 1386 X 1368 X 1488 X 2853 X 3093 X 4379 X 4403 X 4466 )</p>							scema an bhugapan chikhe :

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakyi athawa kaydeysheer babinsathi vapraia yonar nahi.

## Village mamuma bara ( piktanchi nondavhi )

[ Maharashtra Land Records Revenue Records of Right and Regulations (Book Keeping) Rule 1971 yati alam 25 ]

Village :- gokhivire ( 944016 )

Taluka :- vasai

District :- palghar

bhumapan kramank v upavibhag : 277/3

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					bey.n. chot.nce	bey.n. chot.nce			bey.n. chot.nce	
2019-20	sampoorn vardi							bindhi	46.6008	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleti ahe

suchana : yah sanketasthavar darshavileli mahiti he konatyahi shasakyi athawa kaydeysheer babinsathi vapraia yonar nahi.

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सुचना : या संकेतस्थलवार दर्शविलेली माहिती ही कोणत्याही शासकीय अथवा कायदेशीर कर्तव्यासाठी वापरता येणार नाही.

जमावटी अद्युक्त आणि संचालक भूमि अभिलेख कार्यालय  
मिशन मंदल, नवीन प्रशासकीय इमारत, कोलिस हॉल समोर, पुणे  
दूरध्वनी : ०२०-२६००००६, ई-मेल : bhumaah@mahabhumi.gov.in

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ahwal Date : 08/04/2024

## Village Form Seven ( Records of Right )

[ Maharashtra Land Records Revenue Records of Hight and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from State 1971 ]

Village :- gokhivre ( 944016 )  
pu-id : 20351942175

**Taluka :- vasni**

**District :- pulghar**

bhumapan kramank v upavibhag : 278/2



20351942175

[illegible]

suchana : yah sanketashtavar darshavileli mahiti he konayahi shasakiy adawa kaydeysheer babinsahi vaprata yenar nahi.

**Village namuna bara ( pikanchi nondavhi )**

(Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rules 1971 यादी नं. 29)

Village :- gokhivre ( 944016 )

Taluka :- vasai

**District :- palghar**

bhumapan kramank v upavibhag : 278/2

			Details of Area Under Crop					Uncultivable Land		Remark
Year	Season	Khasa kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					heya.e chou me	heya.e chou me			heya.e chou me	
2019-20	SARDAROTI VARTH							hishet	77.3000	

Note : \* sadrachì nond mobile ap dyaren ghenet aleli ahe

suchana : yah sanketasthavar darshanilci mahiti he konaryahi shasakiv achawa kaydesheer babingshi vaprata yenar nahi.

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सूचना : या संकेतारण्यकावर दर्शविलेली माहिती ही कोणत्याही शासकीय अथवा कायदेशीर बाबीसाठी वापरता येणार नाही.

जमावडी आपुक्त आणि संचालक भूमि अभिलेख कार्यालय  
 तिसरा मजला, नवीन प्रशासकीय इमारत, कॉन्सिल हॉल समोर, पुणे  
 टेलफोन : २२२२६५५००६, ई-मेल : [damah@damlmah@ahmcdon](mailto:damah@damlmah@ahmcdon)

Best viewed with resolution 1366\*768 in Firefox, Chrome, IE









महाराष्ट्र शासन  
महसूल विभाग

गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे



MAHA Bhulekh (i.e. Maharashtra Bhumi Abhilekh) - a land

मुख्यपृष्ठ



ahwal Date : 13/08/2024

## Village Form Seven (Records of Right)

(Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971)

Village :- gokhivre (944016)  
pu-id : 26303830889Taluka :- vasai  
bhupaman kramank v upavibhag : 279/2


District :- palghar



26303830889

Tenure Type : bhogavatadar varg -1

shetache sthanik nao :

Area, Unit & Assessment	khato kra	Name of the occupant	Area	Assessment	Uncultivable	Mutation number	Tenancy, Rent & Other Rights
Area Unit	Hec.Ares.Sq.mtr	[99-]					Name of the tenant and Rent :
a) lagavad yogya Area		( bebbai-vishwa-tanaheda	4.00.70	4.00	1	(5739)	
Free-Irrigated	1.83.78	( anchaon-bor-culivar-vadga			1	(5739)	
Irriagated		—sambho Area—	0.00.00	0			
Total cultivable Area	1.83.78	bebbai-vishwa-tanaheda	1.83.78	1.20		(5739)	Other Rights
b) Uncultivable Area							adivadi khatedar
(lagavad ayogya)							j. m. sunhichecha kulam 36 v 36a te adbia. (993)
Class (A)							[ name( 4324 )
Class (B)							[ ma-syeyai-vani-yancher-kadi-dawa-kar-33-2613-pramane-shri-saved
Total po kh.	0.00.00						mobin-khan-ghenyat-adhikar-rakhi-( 4324 )
Total Area (a+b)	1.83.78						
Assessment	1.20						pralambit farfar : nahi.
Special Assessment							shetacha pichar kramank : 5739 • Date : 13/08/2024
<div style="text-align: center;">  <p>भूमि अभिलेख निर्णयात</p> <p>ई महा भूमि</p> <p>For View Only</p> </div>							
[see Mutation No ( 992 ) ( 1368 ) ( 2389 ) ( 2410 ) ( 2889 ) ( 2789 ) ( 2792 ) ( 3794 ) ( 3615 ) ( 4186 ) ( 4324 ) ( 4435 ) ( 4545 ) ( 5298 )							[seema ani bhupaman chinhe :

suchana : yah sanketasthavar darshavileli mahiti he konayahi shasakiy aghawa kaydeysheer babinsathi vaprata yonar nahi.

## Village namuna bars ( pikanchi nondavhi )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yaill nium 39 )

Village :- gokhivre (944016)

Taluka :- vasai

District :- palghar

bhupaman kramank v upavibhag : 279/2

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					heg.n	heg.n			heg.n	
					chookine	chookine			chookine	
2022-23	khari	99+						gavat pad	1.8378	

Note : \* sadrachhi nond mobile ap dvaren ghenet aveli ahe

suchana : yah sanketasthavar darshavileli mahiti he konayahi shasakiy aghawa kaydeysheer babinsathi vaprata yonar nahi.

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सूचना : या संकेतस्थलवार दर्शविलेली माहिती ही कोणत्याही शासकीय, अल्प कायदेशीर बाबींसाठी वापरता येणार नाही.

जमाबंदी आयुक्त आणि संचालक भूमि अभिलेख कार्यालय  
तिसरा मजला, नवीन प्रशासकीय इमारत, कोन्सिल हाय समोर, पुणे  
दूरध्वनी : ०२०-२६०५०००६, ई-मेल : dirmah@mah.gov.in

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महाराष्ट्र शासन  
महसूल विभाग  
गाव नमुना नंबर ७/१२ व ८ अ, मालमत्ता पत्रक पाहणे



MAHA BH

मुद्रापत्र

ahwal Date : 08/04/2024



## Village Form Seven ( Records of Right )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 Rules 3, 5, 6 and 7 from Rule 1971 )


Village :- gokhivre ( 944016 )  
pu-id : 25324457529

Taluka :- vasai  
bhupatan kramank v upavibhag : 280/1

District :- palghar



25324457529

Tenure Type : bhogavatadar varg -I		shetache shanait nao :				Tenancy, Rent & Other Rights
Area, Unit & Assessment	khate kra.	Name of the occupant	Area	Assessment	Uncultivable Mutation number	
Area Unit c.chou, rae, chou, area, rae, akrashtak Area bri sheti Assessment 455.00	[ 343-1 ]	[ reharshomer-buddheppingh-wadhawan ]	30.00.00	455.00	[ 4649 ]	Name of the tenant and Rent
	1206	bharthya railway	12.70.00		[ 4648 ]	Other Rights
	1026	may. sai vidam riyatrasa pra. li. tarfi dalakar devandra rajkanti ladhani	32.00.00	455.00	[ 4669 ]	Other Rights
 <p>भूमिअभिलेख निर्णयात्</p> <p>ई महा भूमि</p> <p>For View Only</p>						
Joint Mutation No. ( 100 x 512 x 1206 x 1268 x 1688 x 1783 x 2853 x 3093 x 4070 x 4086 x 4339 x 4379 x 4466 x 4545 x 4648 x 4669 x 4772 x 4890 x 5368 )						across an bhupatan chine

suchana : yah sanketasthavar darshavileli mahiti he konaryahi shasakyi aghawa kaydeysheer babinsathi vaprata yonar nahi.

## Village namuna bars ( pikanchi nondavhi )

( Maharashtra Land Records Revenue Records of Right and Registers (Book Keeping) Rule 1971 yasthi nam 19 )

Village :- gokhivre ( 944016 )

Taluka :- vasai

District :- palghar

bhupatan kramank v upavibhag : 280/1

Details of Area Under Crop								Uncultivable Land		Remark
Year	Season	khata kramank	Crop Type	Name of Crop	Irrigated	Non irrigated	Irrigation Equipment	Type	Area	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
					heyr. chou.me	heyr. chou.me			heyr. chou.me	
2015-20	satapeoteth Varsh							hishkati	45.5000	

Note : \* sadrachhi nond mobile ap dvaren ghenet aleli ahe

suchana : yah sanketasthavar darshavileli mahiti he konaryahi shasakyi aghawa kaydeysheer babinsathi vaprata yonar nahi.

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जमावटी आयुक्त आणि संचालक भूमि अभिलेख कार्यालय  
दिसरा मजला, नवीन प्रशासकीय इमारती, कोरगाव हात समीर, पुणे  
दूरध्वनी : ०२०-२६०५००६, ई-मेल : dhmah@dhmah[at]nic[dot]in  
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भारतीय प्रौद्योगिकी संस्थान मुंबई  
पवई, मुंबई-400 076, भारत  
Indian Institute of Technology Bombay  
Powai, Mumbai-400 076, India

दूरभाष/Phone : (+91-22) 2572 2545  
फैक्स/Fax : (+91-22) 2572 3480  
वेबसाइट/Website : www.iitb.ac.in



May 23, 2024

The Chief Engineer (Bridges)  
Ground Floor,  
Engineering Hub Building  
Dr. E. Moses Road  
Worli, Mumbai-400018

**Subject: Design, Construction and Operation of Twin Tunnel from Film City Goregaon to Khindipada (Amar Nagar), Mulund Including Box Tunnel (Cut & Cover) at Film City, Electrical, Mechanical and associated Works.**

I had recommended to conduct "Non-destructive Subsurface Geophysical Exploration" by employing the Seismic Refraction Tomography (SRT) and Electrical Resistivity Tomography (ERT). Please submit these reports to the undersigned at the earliest. Furthermore, to validate these reports, several additional (confirmatory) boreholes, spread along the alignment of the tunnels and depth-wise extending up to their location, should be conducted and the results should be shared with the undersigned without further delay. Please be advised that these data are essential for hassle free completion of the tunnelling work in a scientific, timely and most economical manner.

You should also instruct the appointed agency to submit the "Safety Plan", which shall be followed, strictly, during the operation of Tunnel Boring Machines (TBMs). To avoid any mishap during tunnelling, primarily due to the "possible collapse of tunnel walls", for which RCC segments are to be installed, the said safety plan should also include details of segment configuration and the grouting pattern and the methodology.

Kindly note that the removal of tunnelling muck, RCC segment fixing, and grouting of the annular space, to stabilise the surrounding rock mass, are to be executed in tandem (simultaneously/continuously) and the TBM operations should go on uninterrupted.

Keeping the above-mentioned facts and requirements in view, you are therefore requested to obtain the required permissions from the authorities and instruct the agencies to act accordingly.

Regards!

*D. N. Singh*

**Prof. D. N. Singh**  
Professor  
Department of Civil Engineering  
[dns@civil.iitb.ac.in](mailto:dns@civil.iitb.ac.in)  
Cell: +91-9820758508  
[www.civil.iitb.ac.in/~dns](http://www.civil.iitb.ac.in/~dns)

*True copy*  
*Dr. P. Singh*  
Ex. Eng. (GMLR)





**BRIHANMUMBAI MUNICIPAL CORPORATION**

Office of the Chief Engineer (Bridges), Ground Floor, Engineering Hub Building,  
Dr. E. Moses Road, Worli. Mumbai-400018  
E-mail:-[che.gmlr@mcgm.gov.in](mailto:che.gmlr@mcgm.gov.in)

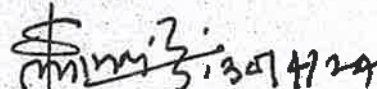
---

**UNDERTAKING**

**Sub:-** Diversion of 19.43 ha. of Reserved Forest Land in favour of Municipal Corporation of Greater Mumbai for Construction of Tunnel underneath Sanjay Gandhi National Park along Goregaon Mulund Link Road by Municipal Corporation of Greater Mumbai in Mumbai Suburban District in the State of Maharashtra.

We, BRIHANMUMBAI MUNICIPAL CORPORATION, submit an undertaking that No labor camp will be established on the Reserved forest land, for "The Proposed Design construction and operation of twin tunnel from Film City Goregaon to Khindipada (Amar nagar) Mulund including Box Tunnel (Cut & Cover) at Film City, Electrical, Mechanical and associated works."

**Authorized Signatory**



(Vivek D. Kalyankar)

**Chief Engineer (Bridges)**

**For, BRIHANMUMBAI MUNICIPAL CORPORATION**



# MEMORANDUM FOR THE RECORD

TO: THE SECRETARY OF THE ARMY  
FROM: THE SECRETARY OF THE ARMY  
SUBJECT: [Illegible]

## REFERENCE

1. [Illegible text]

2. [Illegible text]

3. [Illegible text]

**BRIHANMUMBAI MUNICIPAL CORPORATION**

Office of the Chief Engineer (Bridges), Ground Floor, Engineering Hub Building,  
Dr. E. Moses Road, Worli, Mumbai-400018  
E-mail:-[che.gmlr@mcgm.gov.in](mailto:che.gmlr@mcgm.gov.in)

---

**UNDERTAKING**

**Sub:-** Diversion of 19.43 ha. of Reserved Forest Land in favour of Municipal Corporation of Greater Mumbai for Construction of Tunnel underneath Sanjay Gandhi National Park along Goregaon Mulund Link Road by Municipal Corporation of Greater Mumbai in Mumbai Suburban District in the State of Maharashtra.

We, BRIHANMUMBAI MUNICIPAL CORPORATION, submit an undertaking that proper drainage system to flush out wastage throughout the tunnel and any way such waste / garbage will not be disposed inside the tunnel area for "The Proposed Design construction and operation of twin tunnel from Film City Goregaon to Khindipada (Amar nagar) Mulund including Box Tunnel (Cut & Cover) at Film City, Electrical, Mechanical and associated works."

**Authorized Signatory**

  
(Vivek D. Kalyankar)

**Chief Engineer (Bridges)**

**For, BRIHANMUMBAI MUNICIPAL CORPORATION**



**BRIHANMUMBAI MUNICIPAL CORPORATION**

Office of the Chief Engineer (Bridges), Ground Floor, Engineering Hub Building,  
Dr. E. Moses Road, Worli, Mumbai-400018  
E-mail:-[che.gmlr@mcgm.gov.in](mailto:che.gmlr@mcgm.gov.in)

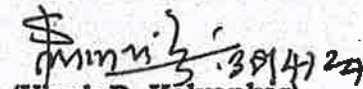
---

**UNDERTAKING**

**Sub:-** Diversion of 19.43 ha. of Reserved Forest Land in favour of Municipal Corporation of Greater Mumbai for Construction of Tunnel underneath Sanjay Gandhi National Park along Goregaon Mulund Link Road by Municipal Corporation of Greater Mumbai in Mumbai Suburban District in the State of Maharashtra.

We, BRIHANMUMBAI MUNICIPAL CORPORATION, submit an undertaking that we will compensate for the damages for the flora & fauna of SGNP in the case of any adverse impact (s) occurs during construction and operation phase throughout the project life due to construction at the project costs of restoration for "The Proposed Design construction and operation of twin tunnel from Film City Goregaon to Khindipada (Amar nagar) Mulund including Box Tunnel (Cut & Cover) at Film City, Electrical, Mechanical and associated works."

**Authorized Signatory**

  
(Vivek D. Kalyankar)

**Chief Engineer (Bridges)**

**For, BRIHANMUMBAI MUNICIPAL CORPORATION**





**BRIHANMUMBAI MUNICIPAL CORPORATION**

Office of the Chief Engineer (Bridges), Ground Floor, Engineering Hub Building,  
Dr. E. Moses Road, Worli. Mumbai-400018  
E-mail:- [che.gmlr@mcgm.gov.in](mailto:che.gmlr@mcgm.gov.in)

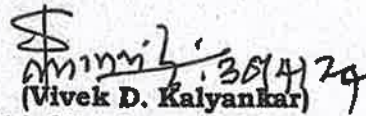
---

**UNDERTAKING**

**Sub:-** Diversion of 19.43 ha. of Reserved Forest Land in favour of Municipal Corporation of Greater Mumbai for Construction of Tunnel underneath Sanjay Gandhi National Park along Goregaon Mulund Link Road by Municipal Corporation of Greater Mumbai in Mumbai Suburban District in the State of Maharashtra.

We, BRIHANMUMBAI MUNICIPAL CORPORATION, submit an undertaking to no felling of trees under the diversion of 19.43 Ha. under Reserved Forest Land, for "The Proposed Design construction and operation of twin tunnel from Film City Goregaon to Khindipada (Amar nagar) Mulund including Box Tunnel (Cut & Cover) at Film City, Electrical, Mechanical and associated works."

**Authorized Signatory**

  
(Vivek D. Kalyankar)

**Chief Engineer (Bridges)**

**For, BRIHANMUMBAI MUNICIPAL CORPORATION**





**BRIHANMUMBAI MUNICIPAL CORPORATION**

Office of the Chief Engineer (Bridges), Ground Floor, Engineering Hub Building,  
Dr. E. Moses Road, Worli, Mumbai-400018  
E-mail:-[che.gmlr@mcgm.gov.in](mailto:che.gmlr@mcgm.gov.in)

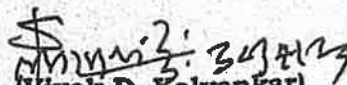
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**UNDERTAKING**

**Sub:-** Diversion of 19.43 ha. of Reserved Forest Land in favour of Municipal Corporation of Greater Mumbai for Construction of Tunnel underneath Sanjay Gandhi National Park along Goregaon Mulund Link Road by Municipal Corporation of Greater Mumbai in Mumbai Suburban District in the State of Maharashtra.

We, BRIHANMUMBAI MUNICIPAL CORPORATION, submit an undertaking that we will implement all mitigation measures as suggested by the State Government for "The Proposed Design construction and operation of twin tunnel from Film City Goregaon to Khindipada (Amar nagar) Mulund including Box Tunnel (Cut & Cover) at Film City, Electrical, Mechanical and associated works."

**Authorized Signatory**

  
(Vivek D. Kalyankar)

**Chief Engineer (Bridges)**

**For, BRIHANMUMBAI MUNICIPAL CORPORATION**



**BRIHANMUMBAI MUNICIPAL CORPORATION**

Office of the Chief Engineer (Bridges), Ground Floor, Engineering Hub Building,  
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E-mail:- [che.gmlr@mcgm.gov.in](mailto:che.gmlr@mcgm.gov.in)

---

**UNDERTAKING**

**Sub:-** Diversion of 19.43 ha. of Reserved Forest Land in favour of Municipal Corporation of Greater Mumbai for Construction of Tunnel underneath Sanjay Gandhi National Park along Goregaon Mulund Link Road by Municipal Corporation of Greater Mumbai in Mumbai Suburban District in the State of Maharashtra.

We, BRIHANMUMBAI MUNICIPAL CORPORATION, submit an undertaking that we will implement disaster management plan as per relevant rules / regulation to extant, if required for "The Proposed Design construction and operation of twin tunnel from Film City Goregaon to Khindipada (Amar nagar) Mulund including Box Tunnel (Cut & Cover) at Film City, Electrical, Mechanical and associated works."

**Authorized Signatory**

  
(Vivek D. Kalyankar)

**Chief Engineer (Bridges)**

**For, BRIHANMUMBAI MUNICIPAL CORPORATION**





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Dr. E. Moses Road, Worli, Mumbai-400018  
E-mail:-[che.gmlr@mcgm.gov.in](mailto:che.gmlr@mcgm.gov.in)

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**UNDERTAKING**

**Sub:-** Diversion of 19.43 ha. of Reserved Forest Land in favour of Municipal Corporation of Greater Mumbai for Construction of Tunnel underneath Sanjay Gandhi National Park along Goregaon Mulund Link Road by Municipal Corporation of Greater Mumbai in Mumbai Suburban District in the State of Maharashtra.

We, BRIHANMUMBAI MUNICIPAL CORPORATION, submit an undertaking that we ensure all other approvals / permission under relevant rules / regulation, if any required prior to commencement of the project work for "The Proposed Design construction and operation of twin tunnel from Film City Goregaon to Khindipada (Amar nagar) Mulund including Box Tunnel (Cut & Cover) at Film City, Electrical, Mechanical and associated works."

**Authorized Signatory**

  
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We, BRIHANMUMBAI MUNICIPAL CORPORATION, submit an undertaking that proper labour camps will be constructed in the non-forest area and in any case, labour camp will not be made within the RF area for "The Proposed Design construction and operation of twin tunnel from Film City Goregaon to Khindipada (Amar nagar) Mulund including Box Tunnel (Cut & Cover) at Film City, Electrical, Mechanical and associated works."

**Authorized Signatory**

  
(Vivek D. Kalyankar)

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# Office of the Collector, Mumbai Suburban District

Administrative Building, 10<sup>th</sup> Floor, Government Colony, Bandra (E), Mumbai-51  
Office: 26556799 Fax : 26556808 Email: collectormsd@gmail.com

No. C/Desk-21/WS-1047/17

Date : 09/07/2019

## FORM-I For Linear project Government of Maharashtra TO WHOMSOEVER IT MAY CONCERN

In compliance of the Ministry of Environment and Forest (MOEF) Government of India letter No.11-9/98-FC(pt) dated 3<sup>rd</sup> August 2009 wherein the MoEF issued guidelines on submission of evidences for having initiated and completed the process of settlement of right under the Scheduled Tribes and Other Traditional Forest Dwellers (Recognition Of Forest Rights) Act 2006 (FRA for short) on the forest land proposed to be diverted for non-forest purpose read with MoEFS' issued letter dated 5<sup>th</sup> feb 2013 wherein MoEF certain relaxation in respect of linear projects, it is certified that 19.4300 ha. of forest land proposed to be diverted in favour of Municipal Corporation Of BrihanMumbai for Construction of tunnel underneath Sanjay Gandhi National Park (S.G.N.P.) along Goregaon- Mulund Link Road in Mumbai Suburban district falls within jurisdiction of Village Gundgaon in Borivali tahsil and Vihar and Nahur in Kurla tahsil.

### Land detail

Sr.No	Village	Taluka	Survey No.	Area in ha.
1	Gundgaon	Borivali	120, 124 and 188	16.4883
2	Vihar	Kurla	56 and 57	1.5006
3	Nahur	Kurla	177	1.4411
Total				19.4300 ha.

It is further certified that:-

- The complete process for identification and settlement of right under the FRA has been carried out for the entire 19.4300 ha. of forest area proposed for diversion. A copy of records of all consultation and meeting of the Forest Right Committee (Ward samiti) letter are enclosed as Annexure -01
- The diversion of forest land for facilities managed by the Government as required under section 3(2) of the FRA have been completed and ward samiti have given their consent to it.
- The Proposal does not involve recognized rights of Primitive Tribal Groups and Pre-agricultural communities

Note : This certificate is issued on the basis of enquiry report of 1) Sub-Divisional Officer, Mumbai Eastern suburban bearing No.Kra.UVia/E.S/T.No-1/Kavi-203/FRA/2017 Dated 09/03/2018 2) Sub-Divisional Officer, Mumbai Western suburban bearing No.Kra.UVia/ka-5/ Kavi-2001/2017 Dated 31/03/2018 3) Assistant commissioner T/ Ward, Municipal Corporation Greater Mumbai bearing No.Asst.com. P.T.270/2018 Dated 06/02/2018 and 4) Assistant commissioner, P/North, Municipal Corporation Greater Mumbai bearing No. Asst.com. P.N.54926 Anu/Asst. Engg.(Pri.) Dated 14/02/2018 (Copy enclosed)

Encl. as above

O. C. is signed by Hon'ble Collector

Copy to : Chief Engineer (Bridge) M.L.R. Bhandup Complex store building, Dargah Road, Khindipada, Mumund (W)

(Satyanarayan Bajaj)  
Deputy Collector (GAD),  
Mumbai Suburban District

Ex. Engineer (GMLR)





Indira Paryavaran Bhawan  
Jor Bagh Road, Aliganj  
New Delhi - 110 003  
Dated: 30<sup>th</sup> May, 2018

To,

The Chief Engineer (GMLR)  
O/o Chief Engineer (CTI&RC)  
Civil Training Institute and Research Centre  
Abhinav Nagar, Near National Park, Borivali (E)  
Mumbai - 400 066 (Maharashtra)  
Ph.: 044 - 28973708  
Email: [che.gmlr@mcgm.gov.in](mailto:che.gmlr@mcgm.gov.in)

Sub: Goregaon-Mulund Link Road, Mumbai (Maharashtra) by M/s Municipal Corporation of Greater Mumbai - regarding.

Sir,

I am directed to refer to your letter No. ChEng/CTIRC/GMLR/56 dated 18<sup>th</sup> May, 2018 regarding above mentioned subject along with the clarification issued by the Secretary (Roads), Public Work Department, Govt. of Maharashtra in respect of Goregaon-Mulund Link Road (GMLR) project.

2. The said project was accepted by the Ministry based on information provided in Form-1 of the online application submitted by M/s MCGM for seeking Terms of Reference (ToR). After due diligence by the Expert Appraisal Committee (EAC) for Infra-1 of this Ministry, ToR was issued vide letter no. 10-40/2017-IA.III dated 31<sup>st</sup> January, 2018.

3. However, after issuing the said TOR, the Chairman, Municipal Corporation of Greater Mumbai (MCGM), vide letter no. MGC/F/5675 dated 20<sup>th</sup> March, 2018, requested to modify the ToR conditions: (i) to grant exemption from Public Consultation and (ii) to reduce the period of Biodiversity study from three seasons to one season. Subsequently, the proposal for amendment to said TOR was placed before EAC in its 187<sup>th</sup> meeting held on 12<sup>th</sup> April, 2018 wherein M/s MCGM informed that the proposed link road does not directly connect Eastern and Western Expressways directly, instead, this link road on either side joins a local PWD road/bridge. Also, it was informed that the proposed Link Road is only a Development Plan Road of the MCGM and does not even form part of any State or National Highway.

4. Based on information provided in the meeting, EAC observed the following:

"Since, the proponent did not provide correct information at the time of submission of online application, the Ministry considered the proposal and issued ToR. However, now the project proponent has informed that the said project does not require prior EC because it is only a Development Plan Road of the MCGM and does not even form part any Expressway or State/National Highway.

In view of above, the proponent desired to withdraw the proposal as it does not attract the provisions of EIA Notification, 2006 as amended from time to time. Hence, the proposal for amendment of ToR was rejected by EAC."

P.T.O.



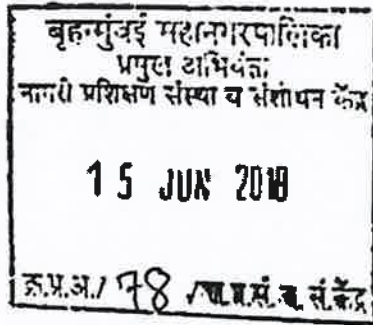
5. Now M/s MCGM has submitted a clarification by Secretary (Roads), Public Work Department, Govt. of Maharashtra vide letter no. Sakirna-2018/C.R.184/Road-7 dated 18<sup>th</sup> May, 2018, which states that GMLR is not Expressway, Express Highway, National Highway, Major State Highway or any other part of Roads of Public Work Development's Road Development Plan 2001-21. It is exclusively a Development Plan Road of the concerned Planning Authority.
6. As per EIA Notification, 2006, subsequent amendments and rule position mentioned therein, the prior environmental clearance is mandatory for following Highways/Expressways projects:

Project or Activity		Category with threshold limit		Conditions if any
		A	B	
7		Physical Infrastructure including Environmental Services		
(1)	(2)	(3)	(4)	(5)
7(f)	Highways	i) New National High ways; and  ii) Expansion of National High ways greater than 100 KM, involving additional right of way or land acquisition greater than 40m on existing development and 60 m on re-alignment or by-passes.	i) All New State High ways projects;  ii) State Highway expansion projects in hilly terrain (above 1000 m AMSL) and/or ecologically sensitive areas.	General Condition shall Apply  Note: Highways Include Expressways

7. In the light of information mentioned in paras 3, 4, 5 above and rule position mentioned in para 6 above, the said project does not attract the provisions of EIA Notification, 2006 as amended from time to time.
8. In view of above, you may kindly take appropriate action, accordingly.
9. This issues with the approval of competent authority.

Yours Faithfully

*Raghu* 30/5/2018  
(Raghu Kumar Kodali)  
Director/Scientist-F  
Tel.: 011-24621920  
E-mail: [kodali.rk@gov.in](mailto:kodali.rk@gov.in)



CC(GMLR)/IL

*Shammy*  
15/6/18

प्रमुख अभियंता (ना.प्र.सं. व सं. केंद्र)





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**UNDERTAKING**

**Sub:-** Diversion of 19.43 ha. of Reserved Forest Land in favour of Municipal Corporation of Greater Mumbai for Construction of Tunnel underneath Sanjay Gandhi National Park along Goregaon Mulund Link Road by Municipal Corporation of Greater Mumbai in Mumbai Suburban District in the State of Maharashtra.

We, BRIHANMUMBAI MUNICIPAL CORPORATION, submit an undertaking that, if required we will provide Sufficient firewood, preferably the alternate fuels to the laborer after purchasing the same from the State Forest Department or the Forest Development Corporation or any other legal source of alternate fuel in the diversion of 19.43 Ha. Reserved Forest Land, for "The Proposed Design construction and operation of twin tunnel from Film City Goregaon to Khindipada (Amar nagar) Mulund including Box Tunnel (Cut & Cover) at Film City, Electrical, Mechanical and associated works."

**Authorized Signatory**

  
(Vivek D. Kalyankar)

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We, BRIHANMUMBAI MUNICIPAL CORPORATION, submit an undertaking that no additional or new path will be constructed inside the forest area for transportation of construction material for execution for "The Proposed Design construction and operation of twin tunnel from Film City Goregaon to Khindipada (Amar nagar) Mulund including Box Tunnel (Cut & Cover) at Film City, Electrical, Mechanical and associated works."

**Authorized Signatory**

  
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We, BRIHANMUMBAI MUNICIPAL CORPORATION, submit an undertaking that the 19.43 Ha. Reserved Forest Land, to be diverted for "The Proposed Design construction and operation of twin tunnel from Film City Goregaon to Khindipada (Amar nagar) Mulund including Box Tunnel (Cut & Cover) at Film City, Electrical, Mechanical and associated works" will under no circumstances be transferred to any other agency, department or person without prior approval of Government of India.

**Authorized Signatory**

  
30/4/24

(Vivek D. Kalyankar)

Chief Engineer (Bridges)

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We, BRIHANMUMBAI MUNICIPAL CORPORATION, submit an undertaking that the total forest area utilized for the project will not exceed 19.43 Ha. and the forest area diverted will not be used for any purpose other than those shown in the diversion proposal for "The Proposed Design construction and operation of twin tunnel from Film City Goregaon to Khindipada (Amar nagar) Mulund including Box Tunnel (Cut & Cover) at Film City, Electrical, Mechanical and associated works."

**Authorized Signatory**

  
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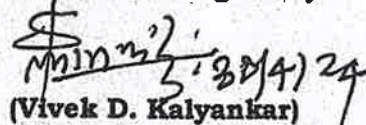
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We, BRIHANMUMBAI MUNICIPAL CORPORATION, submit an undertaking that we ensure compliance to the all acts, rules, regulation and guidelines of the Ministry, for the time being in force, as applicable for "The Proposed Design construction and operation of twin tunnel from Film City Goregaon to Khindipada (Amar nagar) Mulund including Box Tunnel (Cut & Cover) at Film City, Electrical, Mechanical and associated works."

**Authorized Signatory**

  
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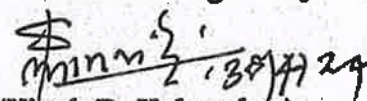
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We, BRIHANMUMBAI MUNICIPAL CORPORATION, submit an undertaking to fulfill any other condition that the Ministry of Environment, Forests & Climate Change Nagpur may impose from time to time in the interest of afforestation, conservation and management of flora and fauna in the area will be comply by Brihanmumbai Municipal Corporation in the diversion of 19.43 Ha. Reserved Forest Land, for "The Proposed Design construction and operation of twin tunnel from Film City Goregaon to Khindipada (Amar nagar) Mulund including Box Tunnel (Cut & Cover) at Film City, Electrical, Mechanical and associated works."

**Authorized Signatory**



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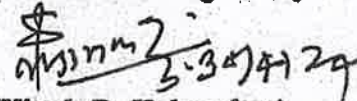
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We, BRIHANMUMBAI MUNICIPAL CORPORATION, submit an undertaking that in the event of failure to comply with any of the conditions, the Brihanmumbai Municipal Corporation is liable for penal action as per the rules / guidelines issued under Van (Sanrakshan Evam Samvardhan) Adhiniyam, 1980 in the diversion of 19.43 Ha. Reserved Forest Land u/s 4 of IFA 1927, for "The Proposed Design construction and operation of twin tunnel from Film City Goregaon to Khindipada (Amar nagar) Mulund including Box Tunnel (Cut & Cover) at Film City, Electrical, Mechanical and associated works."

**Authorized Signatory**



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